

# FP-24-093

**LAND USE SUMMARY**

USE	RESIDENTIAL LOTS	NONRESIDENTIAL LOTS	ACREAGE
SINGLE FAMILY	212		29.961
OPEN SPACE	4		16.910
RIGHT-OF-WAY			16.938
<b>TOTAL</b>			<b>63.809</b>

**LOT TABULATION**

Block	Residential Lots	Private Open Space Lot
Block 75	0	1
Block 76	20	2
Block 77	16	0
Block 78	16	0
Block 79	16	0
Block 80	32	0
Block 81	18	0
Block 82	24	0
Block 83	26	0
Block 84	28	0
Block 85	15	0
Block 145	0	1
<b>TOTAL</b>	<b>212</b>	<b>4</b>

- LEGEND**
- NATURAL GAS WELL HEADS
  - WME WALL MAINTENANCE EASEMENT
  - MFFE MINIMUM FINISHED FLOOR ELEVATION
  - BL BUILDING LINE
  - UE UTILITY EASEMENT
  - P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
  - R.P.R.D.C.T. REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS
  - PDE PUBLIC DRAINAGE EASEMENT
  - C.C.# COUNTY CLERK FILE NO.
  - STREET NAME CHANGE
  - 5/8" CAPPED IRON ROD STAMPED "LIA SURVEYING" FOUND

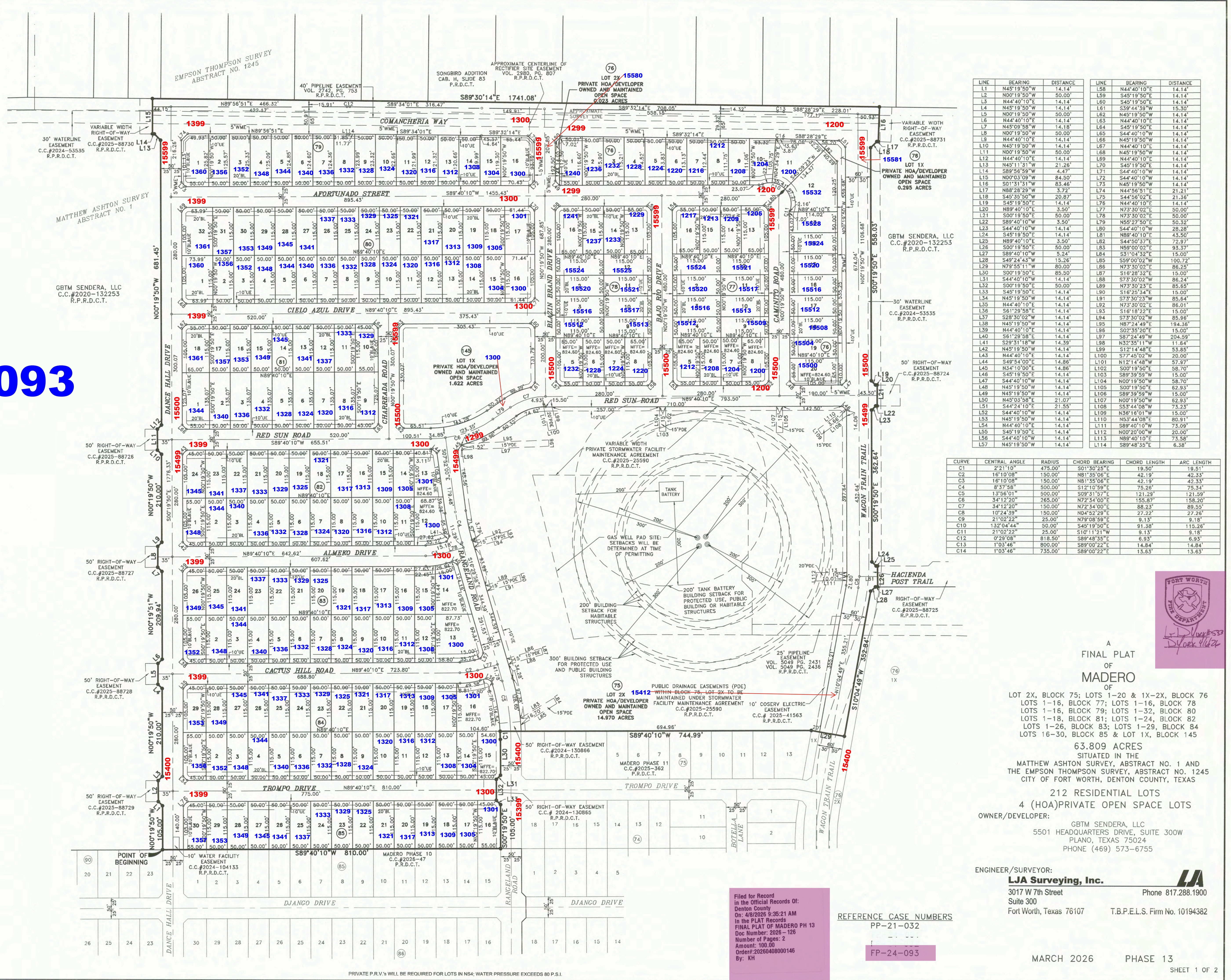
**FORT WORTH CITY PLAN COMMISSION**  
CITY OF FORT WORTH, TEXAS

THIS PLAT IS VALID ONLY IF RECORDED WITHIN NINETY (90) DAYS AFTER DATE OF APPROVAL.

Plat Approval Date: 4/7/2026

By: [Signature] Chairman

By: [Signature] Secretary



LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N45°19'50"W	14.14'	L58	N44°40'10"E	14.14'
L2	N00°19'50"W	50.00'	L59	S45°19'50"E	14.14'
L3	N44°40'10"E	14.14'	L60	S45°19'50"E	14.14'
L4	N45°19'50"W	14.14'	L61	S39°44'39"W	14.14'
L5	N00°19'50"W	50.00'	L62	N45°19'50"W	14.14'
L6	N44°40'10"E	14.14'	L63	N44°40'10"E	14.14'
L7	N45°09'58"W	14.18'	L64	S45°19'50"E	14.14'
L8	N00°19'50"W	50.00'	L65	S44°40'10"E	14.14'
L9	N44°40'10"E	14.14'	L66	N45°19'50"W	14.14'
L10	N45°19'50"W	14.14'	L67	N44°40'10"E	14.14'
L11	N00°19'50"W	50.00'	L68	N45°19'50"W	14.14'
L12	N44°40'10"E	14.14'	L69	N44°40'10"E	14.14'
L13	N45°11'31"W	21.26'	L70	S45°19'50"E	14.14'
L14	S89°56'59"W	4.47'	L71	S44°40'10"E	14.14'
L15	N00°03'09"W	84.50'	L72	S44°40'10"E	14.14'
L16	S01°31'31"W	83.46'	L73	N45°19'50"W	14.14'
L17	N88°28'29"W	3.72'	L74	N44°56'51"E	21.21'
L18	S45°35'50"W	20.87'	L75	S44°56'02"E	21.36'
L19	S45°19'50"W	14.14'	L76	N44°40'10"E	14.14'
L20	N89°40'10"E	3.50'	L77	N73°30'02"E	50.00'
L21	S00°19'50"W	50.00'	L78	N73°30'02"E	50.00'
L22	S89°40'10"W	3.50'	L79	N55°27'50"E	50.32'
L23	N44°40'10"E	14.14'	L80	S44°40'10"E	14.14'
L24	S45°19'50"E	14.14'	L81	N89°40'10"E	43.50'
L25	N89°40'10"E	3.50'	L82	S44°50'37"E	72.97'
L26	S00°19'50"W	50.00'	L83	N59°00'02"E	93.37'
L27	S89°40'10"E	5.24'	L84	S31°04'32"E	15.00'
L28	N44°40'10"E	14.14'	L85	S39°00'02"E	100.72'
L29	N75°55'11"W	80.00'	L86	N73°30'02"E	86.25'
L30	S00°19'50"E	85.50'	L87	S16°28'32"E	15.00'
L31	S44°40'10"E	14.14'	L88	S73°30'02"W	86.24'
L32	S00°19'50"W	50.00'	L89	N73°30'23"E	85.58'
L33	S45°19'50"E	14.14'	L90	S16°25'34"E	15.00'
L34	N45°19'50"W	14.14'	L91	S73°50'23"W	85.84'
L35	N44°40'10"E	14.14'	L92	N73°30'02"E	86.01'
L36	S61°29'58"E	14.14'	L93	S16°18'22"E	15.00'
L37	S28°30'02"W	14.14'	L94	S73°30'02"W	85.96'
L38	N45°19'50"W	14.14'	L95	N87°24'49"E	194.36'
L39	N44°40'10"E	14.14'	L96	S02°35'20"E	15.00'
L40	S61°29'58"E	14.14'	L97	S87°24'49"W	204.59'
L41	S29°31'18"W	14.39'	L98	N32°35'11"W	11.64'
L42	N45°19'50"W	14.14'	L99	S12°14'48"E	55.85'
L43	N44°40'10"E	14.14'	L100	S77°45'02"W	20.00'
L44	S49°54'00"E	14.86'	L101	N12°14'48"W	87.87'
L45	N34°10'00"E	14.86'	L102	S00°19'50"W	58.70'
L46	S45°19'50"E	14.14'	L103	S89°39'59"W	15.00'
L47	S44°40'10"E	14.14'	L104	N00°19'50"W	58.70'
L48	N45°19'50"W	14.14'	L105	S00°19'50"E	62.83'
L49	N45°19'50"W	14.14'	L106	S89°39'59"W	15.00'
L50	N45°03'58"E	21.07'	L107	N00°19'50"W	62.93'
L51	S44°24'10"E	21.55'	L108	S53°44'08"W	73.23'
L52	S44°40'10"E	14.14'	L109	N36°18'01"W	15.00'
L53	N45°19'50"W	14.14'	L110	N53°44'08"E	80.91'
L54	N44°40'10"E	14.14'	L111	S89°40'10"E	73.09'
L55	S45°19'50"E	14.14'	L112	N00°20'00"W	20.00'
L56	S44°40'10"E	14.14'	L113	N89°40'10"E	73.58'
L57	N45°19'50"W	14.14'	L114	S89°48'35"E	6.38'

CURVE	CENTRAL ANGLE	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	2°21'10"	475.00'	S01°30'25"E	19.50'	19.51'
C2	16°10'08"	150.00'	N81°35'06"E	42.19'	42.33'
C3	16°10'08"	150.00'	N81°35'06"E	42.19'	42.33'
C4	8°37'58"	500.00'	S12°10'59"E	75.26'	75.34'
C5	13°56'01"	500.00'	S09°31'57"E	121.29'	121.99'
C6	34°12'20"	265.00'	N72°34'00"E	155.87'	158.20'
C7	34°12'20"	150.00'	N72°34'00"E	88.23'	89.55'
C8	10°24'39"	150.00'	N04°52'28"E	27.22'	27.87'
C9	21°02'22"	25.00'	N78°08'59"E	9.13'	9.18'
C10	132°04'44"	50.00'	S45°19'50"E	91.38'	115.26'
C11	21°02'22"	25.00'	S10°11'21"W	9.13'	9.18'
C12	0°29'09"	818.50'	S89°42'35"E	6.93'	6.93'
C13	1°03'46"	800.00'	S89°00'22"E	14.84'	14.84'
C14	1°03'46"	735.00'	S89°00'22"E	13.63'	13.63'

A  
FINAL PLAT  
OF  
MADERO  
OF  
LOT 2X, BLOCK 75; LOTS 1-20 & 1X-2X, BLOCK 76  
LOTS 1-16, BLOCK 77; LOTS 1-16, BLOCK 78  
LOTS 1-16, BLOCK 79; LOTS 1-32, BLOCK 80  
LOTS 1-18, BLOCK 81; LOTS 1-24, BLOCK 82  
LOTS 1-26, BLOCK 83; LOTS 1-29, BLOCK 84  
LOTS 16-30, BLOCK 85 & LOT 1X, BLOCK 145  
63.809 ACRES  
SITUATED IN THE  
MATTHEW ASHTON SURVEY, ABSTRACT NO. 1 AND  
THE EMPSON THOMPSON SURVEY, ABSTRACT NO. 1245  
CITY OF FORT WORTH, DENTON COUNTY, TEXAS

212 RESIDENTIAL LOTS  
4 (HOA) PRIVATE OPEN SPACE LOTS

OWNER/DEVELOPER:  
GBTM SENDERA, LLC  
5501 HEADQUARTERS DRIVE, SUITE 300W  
PLANO, TEXAS 75024  
PHONE (469) 573-6755

ENGINEER/SURVEYOR:  
LJA Surveying, Inc.  
3017 W 7th Street  
Suite 300  
Fort Worth, Texas 76107  
Phone 817.288.1900  
T.B.P.E.L.S. Firm No. 10194362

Filed for Record in the Official Records Of: Denton County  
On: 4/8/2026 9:35:21 AM  
In the PLAT Records  
FINAL PLAT OF MADERO PH 13  
Doc Number: 2026-126  
Number of Pages: 2  
Amount: 100.00  
Order#: 20260408000146  
By: KH

REFERENCE CASE NUMBERS  
PP-21-032  
FP-24-093

MARCH 2026 PHASE 13 SHEET 1 OF 2

OWNER'S DEDICATION

STATE OF TEXAS (X)
COUNTY OF DENTON (X)

WHEREAS GBTM SENDERA, LLC IS THE OWNER OF A TRACT OF LAND SITUATED IN THE MATTHEW ASHTON SURVEY, ABSTRACT NO. 1 AND THE EMPSON THOMPSON SURVEY, ABSTRACT NO. 1245, CITY OF FORT WORTH, DENTON COUNTY, TEXAS, AND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED TO GBTM SENDERA, LLC, AS RECORDED IN COUNTY CLERKS FILE NO. 2020-132253, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8-INCH IRON ROD WITH CAP STAMPED "LJA SURVEYING" FOUND (HEREINAFTER REFERRED TO AS "CAPPED IRON ROD FOUND") FOR THE NORTH-EAST CORNER OF LOT 23, BLOCK 80, MADERO PHASE 10, AN ADDITION TO THE CITY OF FORT WORTH, DENTON COUNTY, TEXAS, AS SHOWN BY PLAT RECORDED IN COUNTY CLERK FILE NO. 2026-47, PLAT RECORDS, DENTON COUNTY, TEXAS;

THENCE OVER AND ACROSS SAID GBTM SENDERA, LLC TRACT, THE FOLLOWING COURSES AND DISTANCES:

NORTH 00°19'50" WEST, A DISTANCE OF 105.00 FEET TO A CAPPED IRON ROD FOUND;
NORTH 45°19'50" WEST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
NORTH 00°19'50" WEST, A DISTANCE OF 50.00 FEET TO A CAPPED IRON ROD FOUND;
NORTH 44°40'10" EAST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
NORTH 00°19'50" WEST, A DISTANCE OF 210.00 FEET TO A CAPPED IRON ROD FOUND;
NORTH 45°19'50" WEST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
NORTH 00°19'50" WEST, A DISTANCE OF 50.00 FEET TO A CAPPED IRON ROD FOUND;
NORTH 44°40'10" EAST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
NORTH 00°19'51" WEST, A DISTANCE OF 209.94 FEET TO A CAPPED IRON ROD FOUND;
NORTH 45°09'58" WEST, A DISTANCE OF 14.18 FEET TO A CAPPED IRON ROD FOUND;
NORTH 00°19'50" WEST, A DISTANCE OF 50.00 FEET TO A CAPPED IRON ROD FOUND;
NORTH 44°40'10" EAST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
NORTH 00°19'50" WEST, A DISTANCE OF 210.00 FEET TO A CAPPED IRON ROD FOUND;
NORTH 45°19'50" WEST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
NORTH 00°19'50" WEST, A DISTANCE OF 50.00 FEET TO A CAPPED IRON ROD FOUND;
NORTH 44°40'10" EAST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
NORTH 00°19'50" WEST, A DISTANCE OF 681.45 FEET TO A CAPPED IRON ROD FOUND;
NORTH 45°11'31" WEST, A DISTANCE OF 21.26 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 89°56'59" WEST, A DISTANCE OF 4.47 FEET TO A CAPPED IRON ROD FOUND;
NORTH 00°03'09" WEST, A DISTANCE OF 84.50 FEET TO A CAPPED IRON ROD FOUND ON THE NORTH LINE OF SAID GBTM SENDERA TRACT, SAME BEING THE SOUTH LINE OF SONGBIRD ADDITION, AN ADDITION TO DENTON COUNTY, TEXAS AS SHOWN BY PLAT RECORDED IN CABINET H, PAGE 83, OF SAID PLAT RECORDS;

THENCE SOUTH 89°30'14" EAST, WITH SAID NORTH LINE, A DISTANCE OF 1,741.08 FEET TO A CAPPED IRON ROD FOUND;

THENCE OVER AND ACROSS SAID GBTM SENDERA, LLC TRACT, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 01°31'31" WEST, A DISTANCE OF 83.46 FEET TO A CAPPED IRON ROD FOUND;
NORTH 88°28'29" WEST, A DISTANCE OF 3.72 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 45°35'50" WEST, A DISTANCE OF 20.87 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 00°19'50" EAST, A DISTANCE OF 558.03 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 45°19'50" EAST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
NORTH 89°40'10" EAST, A DISTANCE OF 3.50 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 00°19'50" EAST, A DISTANCE OF 50.00 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 89°40'10" WEST, A DISTANCE OF 3.50 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 44°40'10" WEST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 00°19'50" EAST, A DISTANCE OF 362.64 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 45°19'50" EAST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
NORTH 89°40'10" EAST, A DISTANCE OF 3.50 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 00°19'50" EAST, A DISTANCE OF 50.00 FEET TO A CAPPED IRON ROD FOUND ON THE NORTHERLY LINE OF MADERO, PHASE 11, AN ADDITION TO THE CITY OF FORT WORTH, DENTON COUNTY, TEXAS, AS SHOWN BY PLAT RECORDED IN COUNTY CLERK FILE NO. 2025-382 OF SAID PLAT RECORDS;

THENCE WITH SAID NORTHERLY LINE, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 89°40'10" WEST, A DISTANCE OF 5.24 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 49°24'43" WEST, A DISTANCE OF 15.26 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 10°04'49" WEST, A DISTANCE OF 352.84 FEET TO A CAPPED IRON ROD FOUND;
NORTH 79°55'11" WEST, A DISTANCE OF 80.00 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 89°40'10" WEST, A DISTANCE OF 744.99 FEET TO A CAPPED IRON ROD FOUND FOR THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 475.00 FEET AND A CHORD THAT BEARS SOUTH 01°30'25" EAST, 19.50 FEET;
WITH SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 02°21'10", AN ARC-DISTANCE OF 19.51 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 00°19'50" EAST, A DISTANCE OF 85.50 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 44°40'10" WEST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 00°19'50" EAST, A DISTANCE OF 50.00 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 45°19'50" EAST, A DISTANCE OF 14.14 FEET TO A CAPPED IRON ROD FOUND;
SOUTH 00°19'50" EAST, A DISTANCE OF 105.00 FEET TO A CAPPED IRON ROD FOUND ON THE NORTH LINE OF SAID MADERO, PHASE 10;

THENCE SOUTH 89°40'10" WEST, WITH SAID NORTH LINE, A DISTANCE OF 810.00 FEET TO THE POINT OF BEGINNING AND CONTAINING A CALCULATED AREA OF 63.809 ACRES (2,778,536.50 FEET) OF LAND.

TO BE KNOWN AS:

LOT 2X, BLOCK 75; LOTS 1-20 & 1X-2X, BLOCK 76
LOTS 1-16, BLOCK 77; LOTS 1-16, BLOCK 78
LOTS 1-16, BLOCK 79; LOTS 1-32, BLOCK 80
LOTS 1-18, BLOCK 81; LOTS 1-24, BLOCK 82
LOTS 1-26, BLOCK 83; LOTS 1-29, BLOCK 84
LOTS 16-30, BLOCK 85 & LOT 1X, BLOCK 145

MADERO

AN ADDITION TO THE CITY OF FORT WORTH, DENTON COUNTY, TEXAS AND DO HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE EASEMENTS AND RIGHTS-OF-WAY AS SHOWN HEREON.

EXECUTED THIS 31 DAY OF March, A.D. 2026.

GBTM SENDERA, LLC
A DELAWARE LIMITED LIABILITY COMPANY

BY: [Signature]
NAME: Robert Samuel
TITLE: Authorized Signer

STATE OF TEXAS (X)
COUNTY OF Collin (X)

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED [Signature] KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 31 DAY OF March, A.D. 2026.

[Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

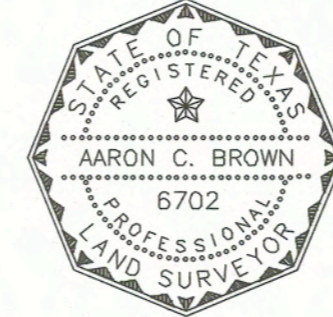
MY COMMISSION EXPIRES: April 1, 2030



SURVEYOR'S CERTIFICATE

I, AARON C. BROWN, REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON DOES ACCURATELY REPRESENT THE PROPERTY AS DETERMINED BY AN ON THE GROUND SURVEY, MADE UNDER MY DIRECT SUPERVISION, AND THAT ALL CORNERS ARE AS SHOWN.

[Signature]
AARON C. BROWN
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6702
DATE: March 20, 2026



NOTES

- 1. HORIZONTAL DATUM: THE BEARING BASIS IS GRID NORTH, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NAD83 (NAD83 (2011) EPOCH 2010), AS DETERMINED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN HEREON ARE THE RESULT OF THE APPLICATION OF A COMBINED SCALE FACTOR OF 1.00015063.
2. ALL SET CORNERS ARE 5/8 INCH IRON RODS WITH PLASTIC CAPS STAMPED "LJA SURVEYING" UNLESS OTHERWISE NOTED.
3. THE CITY OF FORT WORTH HAS AN ORDINANCE IMPLEMENTING THE ASSESSMENT AND COLLECTION OF WATER AND WASTEWATER IMPACT FEES. THE TOTAL AMOUNT ASSESSED IS ESTABLISHED ON THE RECORDATION DATE OF THIS PLAT APPLICATION, BASED UPON SCHEDULE 1 OF THE CURRENT IMPACT FEE ORDINANCE. THE AMOUNT TO BE COLLECTED IS DETERMINED UNDER SCHEDULE II THEN IN EFFECT ON THE DATE A BUILDING PERMIT IS ISSUED, OR THE CONNECTION DATE TO THE MUNICIPAL WATER AND/OR WASTEWATER SYSTEM.
4. ANY PUBLIC FRANCHISED UTILITY, INCLUDING THE CITY OF FORT WORTH, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, FENCE, TREE, SHRUB, OTHER GROWTH OR IMPROVEMENT WHICH IN ANY WAY ENDANGERS OR INTERFERES WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS SHOWN ON THE PLAT; AND THEY SHALL HAVE THE RIGHT AT ALL TIMES TO INGRESS AND EGRESS UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING, AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.
5. A SITE DRAINAGE STUDY, SHOWING CONFORMANCE WITH THE APPROVED ROADWAY DRAINAGE PLAN, MAY BE REQUIRED BEFORE ANY BUILDING PERMIT IS ISSUED ON THIS SITE. (A GRADING PLAN IN SOME INSTANCES MAY BE ADEQUATE.) IF THE SITE DOES NOT CONFORM, THEN A DRAINAGE STUDY MAY BE REQUIRED, ALONG WITH A CFA FOR ANY NECESSARY DRAINAGE IMPROVEMENTS. THE CURRENT OWNER SHALL SUBMIT A LETTER TO THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS DIRECTOR STATING AWARENESS THAT A SITE DRAINAGE STUDY WILL BE REQUIRED BEFORE ANY PERMIT IS ISSUED. THE CURRENT OWNER WILL INFORM EACH BUYER OF THE SAME.
6. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL AN APPROPRIATE CFA OR OTHER ACCEPTABLE PROVISIONS ARE MADE FOR THE CONSTRUCTION OF ANY APPLICABLE WATER, SEWER, STORM DRAIN, STREET LIGHTS, SIDEWALKS OR PAVING IMPROVEMENTS, AND APPROVAL IS FIRST OBTAINED FROM THE CITY OF FORT WORTH.
7. SIDEWALKS ARE REQUIRED ADJACENT TO BOTH SIDES OF ALL PUBLIC AND PRIVATE STREETS, IN CONFORMANCE WITH THE SIDEWALK POLICY PER CITY DEVELOPMENT DESIGN STANDARDS.
8. NO PERMANENT BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED OVER ANY EXISTING OR PLATTED WATER, SANITARY SEWER, DRAINAGE, GAS, ELECTRIC, CABLE, OR OTHER UTILITY EASEMENT OF ANY TYPE.
9. SUBJECT TRACT IS NOT AFFECTED BY 100-YEAR FLOODPLAIN PER FEMA - FLOOD INSURANCE RATE MAP NUMBER 48121C0470, DATED APRIL 18, 2011.
10. PARKWAY IMPROVEMENTS SUCH AS CURB AND GUTTER, PAVEMENT TIE-IN, DRIVE APPROACHES, SIDEWALKS AND DRAINAGE INLETS MAY BE REQUIRED AT TIME OF BUILDING PERMIT ISSUANCE VIA A PARKWAY PERMIT.
11. DIRECT ACCESS FROM SINGLE/DUPLEX RESIDENTIAL DRIVES ONTO ARTERIALS IS PROHIBITED.
12. THE CITY OF FORT WORTH HAS AN ORDINANCE IMPLEMENTING THE ASSESSMENT AND COLLECTION OF TRANSPORTATION IMPACT FEES. THE TOTAL AMOUNT ASSESSED IS ESTABLISHED ON THE APPROVAL DATE OF THIS PLAT APPLICATION, BASED UPON SCHEDULE 1 OF THE IMPACT FEE ORDINANCE IN EFFECT AS OF THE DATE OF THE PLAT. THE AMOUNT TO BE COLLECTED IS DETERMINED UNDER SCHEDULE 2 OF SAID ORDINANCE, AND IS DUE ON THE DATE A BUILDING PERMIT IS ISSUED.
13. THE CITY OF FORT WORTH SHALL NOT BE HELD RESPONSIBLE FOR THE CONSTRUCTION, MAINTENANCE OR OPERATION OF ANY LOTS CONTAINING PRIVATE COMMON AREAS OR FACILITIES IDENTIFIED AS SUCH ON THIS PLAT. SAID LOTS AND FACILITIES SHALL INCLUDE, BUT ARE NOT LIMITED TO: PRIVATE STREETS, EMERGENCY ACCESS EASEMENTS, AND GATED PRIVATE ENTRANCES, RECREATION, LANDSCAPE, AND OPEN SPACE AREAS; WATER AND WASTEWATER DISTRIBUTION, COLLECTION, AND TREATMENT FACILITIES, AND CLUBHOUSE, RECREATION BUILDINGS AND OUTDOOR FACILITIES.
THE LANDOWNERS AND SUBSEQUENT OWNERS OF THE LOTS AND PARCELS IN THIS SUBDIVISION, ACTING JOINTLY AND SEVERALLY AS A LAND OWNERS ASSOCIATION, SHALL BE RESPONSIBLE FOR SUCH CONSTRUCTION, RECONSTRUCTION, MAINTENANCE AND OPERATION OF THE SUBDIVISION'S PRIVATE COMMON AREAS AND FACILITIES, AND SHALL AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY OF FORT WORTH, TEXAS, FROM ALL CLAIMS, DAMAGES AND LOSSES ARISING OUT OF, OR RESULTING FROM THE PERFORMANCE OF THE OBLIGATIONS OF SAID OWNERS ASSOCIATION, AS SET FORTH HEREIN.
14. PURSUANT TO THE FORT WORTH CITY CODE, NO BUILDING(S) NOT NECESSARY TO THE OPERATION OF AN OIL OR GAS WELL SHALL BE CONSTRUCTED WITHIN THE SETBACKS REQUIRED BY THE CURRENT GAS WELL ORDINANCE AND ADOPTED FIRE CODE FROM ANY EXISTING OR PERMITTED OIL OR GAS WELL BORE. THE DISTANCE SHALL BE MEASURED IN A STRAIGHT LINE FROM THE WELL BORE TO THE CLOSEST EXTERIOR POINT OF THE BUILDING, WITHOUT REGARD TO INTERVENING STRUCTURES OR OBJECTS.
15. FLOODPLAIN RESTRICTION: NO CONSTRUCTION SHALL BE ALLOWED WITHIN THE FLOODPLAIN EASEMENT, WITHOUT THE WRITTEN APPROVAL OF THE DIRECTOR OF TRANSPORTATION AND PUBLIC WORKS. IN ORDER TO SECURE APPROVAL, DETAILED ENGINEERING PLANS AND/OR STUDIES FOR THE IMPROVEMENTS, SATISFACTORY TO THE DIRECTOR, SHALL BE PREPARED AND SUBMITTED BY THE PARTY(S) WISHING TO CONSTRUCT WITHIN THE FLOODPLAIN, WHERE CONSTRUCTION IS PERMITTED. ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE FLOODPLAIN BASE FLOOD ELEVATION RESULTING FROM ULTIMATE DEVELOPMENT OF THE WATERSHED.
16. FLOOD PLAIN/DRAINAGE WAY MAINTENANCE: THE EXISTING CREEK, STREAM, RIVER, OR DRAINAGE CHANNEL TRAVERSING ALONG OR ACROSS PORTIONS OF THIS ADDITION, WILL REMAIN UNOBSTRUCTED AT ALL TIMES AND WILL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS WHOSE LOTS ARE TRAVERSED BY, OR ADJACENT TO, THE DRAINAGE-WAYS. THE CITY OF FORT WORTH WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE, EROSION CONTROL, AND/OR OPERATION OF SAID DRAINAGE-WAYS. PROPERTY OWNERS SHALL KEEP THE ADJACENT DRAINAGE-WAYS TRAVERSED BY THEIR PROPERTY CLEAN AND FREE OF DEBRIS, SILT OR OTHER SUBSTANCES WHICH WOULD RESULT IN UNSANITARY CONDITIONS, AND THE CITY SHALL HAVE THE RIGHT OF ENTRY FOR THE PURPOSE OF INSPECTING THE MAINTENANCE WORK BY THE PROPERTY OWNERS. THE DRAINAGE-WAYS ARE OCCASIONALLY SUBJECT TO STORM WATER OVERFLOW AND/OR BANK EROSION THAT CANNOT BE DEFINED. THE CITY OF FORT WORTH SHALL NOT BE LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THOSE PHENOMENA, NOR THE FAILURE OF ANY STRUCTURE(S) WITHIN THE DRAINAGE-WAYS. THE DRAINAGE-WAY CROSSING EACH LOT IS CONTAINED WITHIN THE FLOODPLAIN EASEMENT LINE AS SHOWN ON THE PLAT.
17. CONTRACTOR SHALL MATCH EXISTING GRADE WHEN COVERING (UTILITY/WATER/SEWER/GAS) LINES TO ENSURE THEY DO NOT POND, ALTER, OR CHANNELIZE ANY STORMWATER.



A
FINAL PLAT
OF
MADERO
OF
LOT 2X, BLOCK 75; LOTS 1-20 & 1X-2X, BLOCK 76
LOTS 1-16, BLOCK 77; LOTS 1-16, BLOCK 78
LOTS 1-16, BLOCK 79; LOTS 1-32, BLOCK 80
LOTS 1-18, BLOCK 81; LOTS 1-24, BLOCK 82
LOTS 1-26, BLOCK 83; LOTS 1-29, BLOCK 84
LOTS 16-30, BLOCK 85 & LOT 1X, BLOCK 145
63.809 ACRES
SITUATED IN THE
MATTHEW ASHTON SURVEY, ABSTRACT NO. 1 AND
THE EMPSON THOMPSON SURVEY, ABSTRACT NO. 1245
CITY OF FORT WORTH, DENTON COUNTY, TEXAS

212 RESIDENTIAL LOTS
4 (HOA) PRIVATE OPEN SPACE LOTS
OWNER/DEVELOPER:

GBTM SENDERA, LLC
5501 HEADQUARTERS DRIVE, SUITE 300W
PLANO, TEXAS 75024
PHONE (469) 673-6755

ENGINEER/SURVEYOR:

LJA Surveying, Inc.
3017 W 7th Street Suite 300
Fort Worth, Texas 76107
Phone 817.288.1900
T.B.P.E.L.S. Firm No. 10194382



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FP-24-093

MARCH 2026

PHASE 13

SHEET 2 OF 2

MADERO, PHASE 13