



**ZONING MAP CHANGE
STAFF REPORT**

City Council Meeting Date:
September 13, 2011

Council District 8

Zoning Commission Recommendation:

Approved by a vote of 9-0

Opposition: None

Continued	Yes ___	No <u>X</u>
Case Manager	<u>Stephen Murray</u>	
Surplus	Yes ___	No <u>X</u>
Council Initiated	Yes ___	No <u>X</u>

Owner / Applicant: F.W. Mason Heights, L.P.

Site Location: 3670 Wichita St.; South of Berry St. between Mitchell Blvd. and Wichita Street
Mapsco: 78S, T, W, X

Proposed Use: Residential, Multifamily, and Commercial

Request: From: "PD-721" Planned Development for A-5 uses to include a restricted buffer area for any gas well heads within 600 feet

To: Amend PD 721 to create:

- Tract 1:** "PD/A-5" Planned Development for One Family Residential uses with development standards, site plan waiver recommended;
- Tract 2:** "PD/R-2" Planned Development for Townhouse/Cluster uses with development standards, site plan waiver recommended;
- Tracts 3, 4, 6:** "PD/ER" Planned Development for all uses in "ER" Neighborhood Commercial Restricted plus assisted living facility, nursing home with full medical services, and massage therapy & spa with development standards, site plan required; and
- Tract 5:** "PD/C" Planned Development for Multifamily uses with development standards; site plan required

Land Use Compatibility: Requested change is compatible.

Comprehensive Plan Consistency: Requested change is consistent (Tract 1) and Not Consistent for Tracts 2-6.

Background:

The proposed site was formerly part of the Masonic Children's Home property and is the remaining site of a major redevelopment effort south of Berry Street near Hwy 287. This proposal located just south of the retail development Renaissance Square along Berry Street, the location of a recently announced WalMart. This southern section provides for the residential component of the overall development.

The applicant intends to construct single-family residential, townhouse and multifamily developments with areas of commercial uses. The commercial uses are based on ER Neighborhood Commercial Restricted uses (no alcohol sales) but are primarily intended for assisted living and medical offices.

Site plan waivers are requested for Tracts 1 and 2, the single family and townhouse uses, because the lot layout will be provided at the time of platting and will require approval by the City Plan Commission.

Site plans will be provided for approval by the Zoning Commission and City Council for Tracts 3 through 6, the commercial and multifamily tracts, as developers are identified and their individual requirements are determined.

Specific Development Standards are provided for each tract development including building standards, new fencing to match the existing fence at the All Church Home and installation of street trees, sidewalks and other enhancements along a proposed collector bisecting the development.

The following table provides the differences between current zoning standards and proposed standards for each tract.

Standards	Current Zoning Standard	Proposed PD
Tract 1: PD/A-5		
Lot Area	5,000 sf minimum	5,500 sf minimum
Lot Width	50 feet at building line	55 feet at building line
Rear Yard	5 feet	10 feet
Minimum dwelling size	NA	1500 sf
Exterior Façade Building Materials	50% masonry (100% if located next to minor arterial or wider)	70% brick and/or stone coverage
Open Space	None for subdivision; 50% of lot	Community green provided at the entry
Tract 2: PD/R-2		
Building Height	35 ft	32 feet-slab to top plate 3 stories
Open Space	15%	15% or 25,000, whichever is greater, provided as a community green
Tracts 3, 4, 6: PD/ER including: Assisted Living, Nursing Home with full medical services, and Massage Therapy and Spa		
Building Size	10,000 sf total/ 5,000 sf per tenant	Proposed uses could exceed building size requirements
Building Height	35 ft max, for any part of a building that exceeds 20 feet in height, the building setback must equal the height of the building	Not to exceed 35 feet
Landscaping	10 percent of the net site area	Enhanced landscaping along drives, buffer areas, and parking areas
Tract 5: PD/C		
Landscaping	45 percent open space	45 percent open space in addition to enhanced landscaping along drives and in buffer areas
Parking		Enhanced landscape islands in parking areas

Site Information:

Owner: F.W. Mason Heights, L.P.
10000 North Central Expressway #1500
Dallas, TX 75231

Agent: Mike Clark, Winkelmann and Associates
Acreage: 94.6 ac.
Comprehensive Plan Sector: Southeast

Surrounding Zoning and Land Uses:

- North "PD 721" for PD/E for retail development plus development standards / commercial
- East "A-5" One-Family / single-family, gas well
- South "B" Two-Family; "E" Neighborhood Commercial / single-family, commercial
- West "PD 722" for PD/A-5DD / single-family, historic Masonic Home site/children's home

Public Notification:

The following Neighborhood Associations were notified:

- Mitchell Boulevard NA
- Glencrest Civic League NA
- Morningside/Hillside Crime Watch COPS
- United Communities Association
- Southeast Fort Worth, Inc.
- Fort Worth ISD

Recent Relevant Zoning and Platting History:

Zoning History:

- ZC-09-110, Lockard Construction, Amend development standards for "PD-720" Planned Development; site plan waiver requested; approved 11/10/09. (Subject property and property to the north)
- ZC-08-178, City of Fort Worth; rezoning to remove DD from PD 720 and 721; approved 12/2/08 (Subject property and property to the south)
- ZC-06-189 City of Fort Worth; rezoning to PD/SU/DD for all uses in "E" neighborhood commercial (Subject property) and for all uses in "A-5" One Family (property to the south); approved 9/5/06

Platting History: PP-09-013 Shoppes at Renaissance Square Addition approved by the Planning Commission 10/28/09

Transportation/Access

Street/Thoroughfare	Existing	Proposed	In Capital Improvements Plan (CIP)
Wichita Street	2 way, Collector	Major Arterial	Yes (2018-2029)
Mitchell Blvd.	2 way, Minor Arterial	Major Arterial	No

Development Impact Analysis:

1. Land Use Compatibility

The applicant is proposing a zoning change to provide specific zoning designations and development guidelines for various tracts of land. The applicant intends to construct a single-family, townhouse, and multifamily development with areas of neighborhood commercial. The surrounding land uses vary with a large commercial development to the north, a school and single-family, and a gas well to the west, single-family to the south and the Historic Masonic Home and single family to the east.

Due to the close proximity to the intense development to the north, the proposed zoning change is **compatible** with surrounding land uses.

2. Comprehensive Plan Consistency

The 2011 Comprehensive Plan designates the site as single-family residential. Please see table below for Comprehensive Plan Consistency:

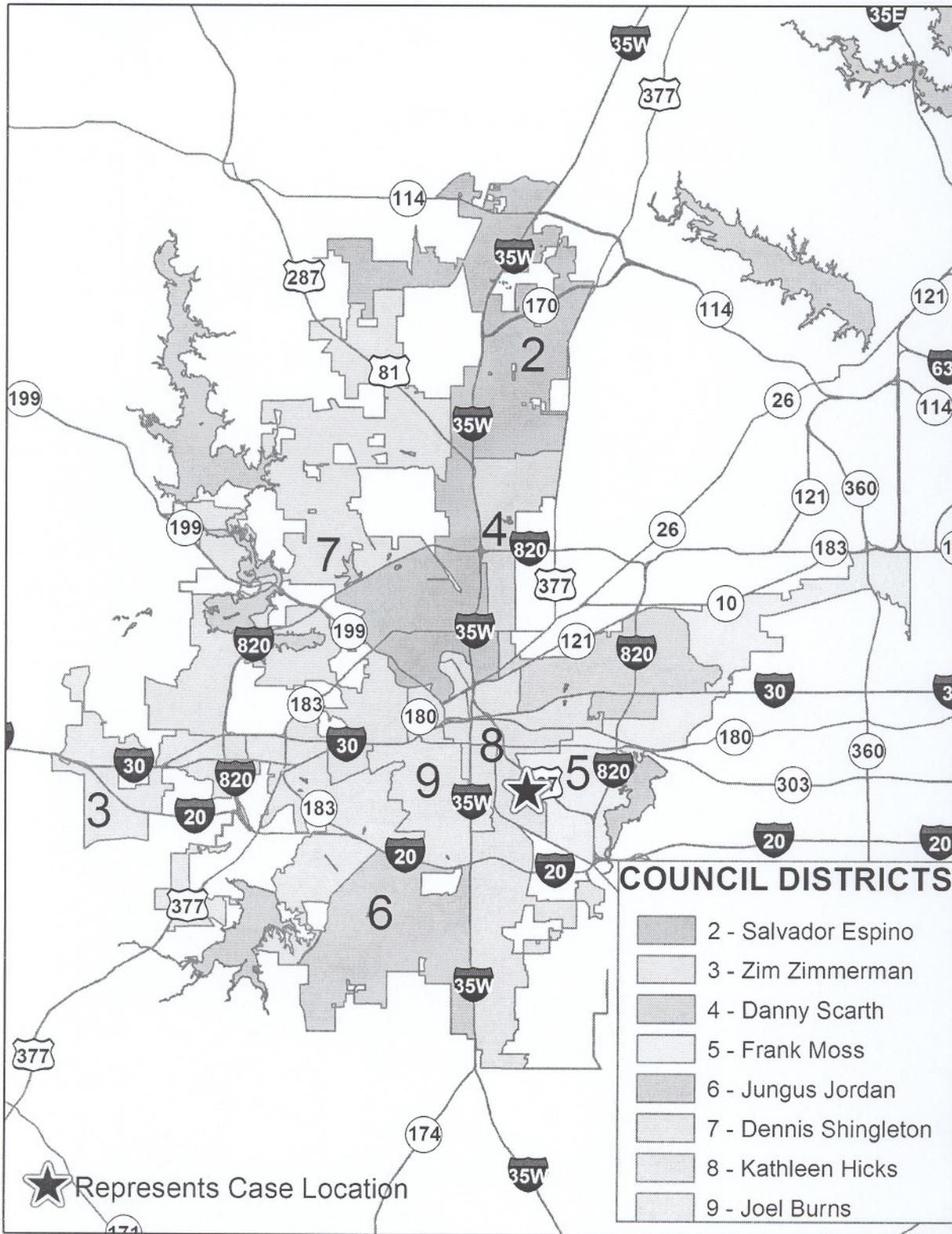
Tract	Proposed Zoning	Future Land Use	Comprehensive Plan Consistency
Tract 1	PD/A5 with development standards	Single-family	Yes
Tract 2	PD/R-2 with development standards	Single-family/townhomes	No
Tracts 3, 4, 6	PD/ER	Commercial retail/office/assisted living	No
Tract 5	PD/C	Multifamily and senior	No

		living	
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Attachments:

- Location Map
- Area Zoning Map with 300 ft. Notification Area
- Future Land Use Map
- Aerial Photograph
- PD Development Standards for six tracts
- Minutes of the Zoning Commission meeting

Location Map



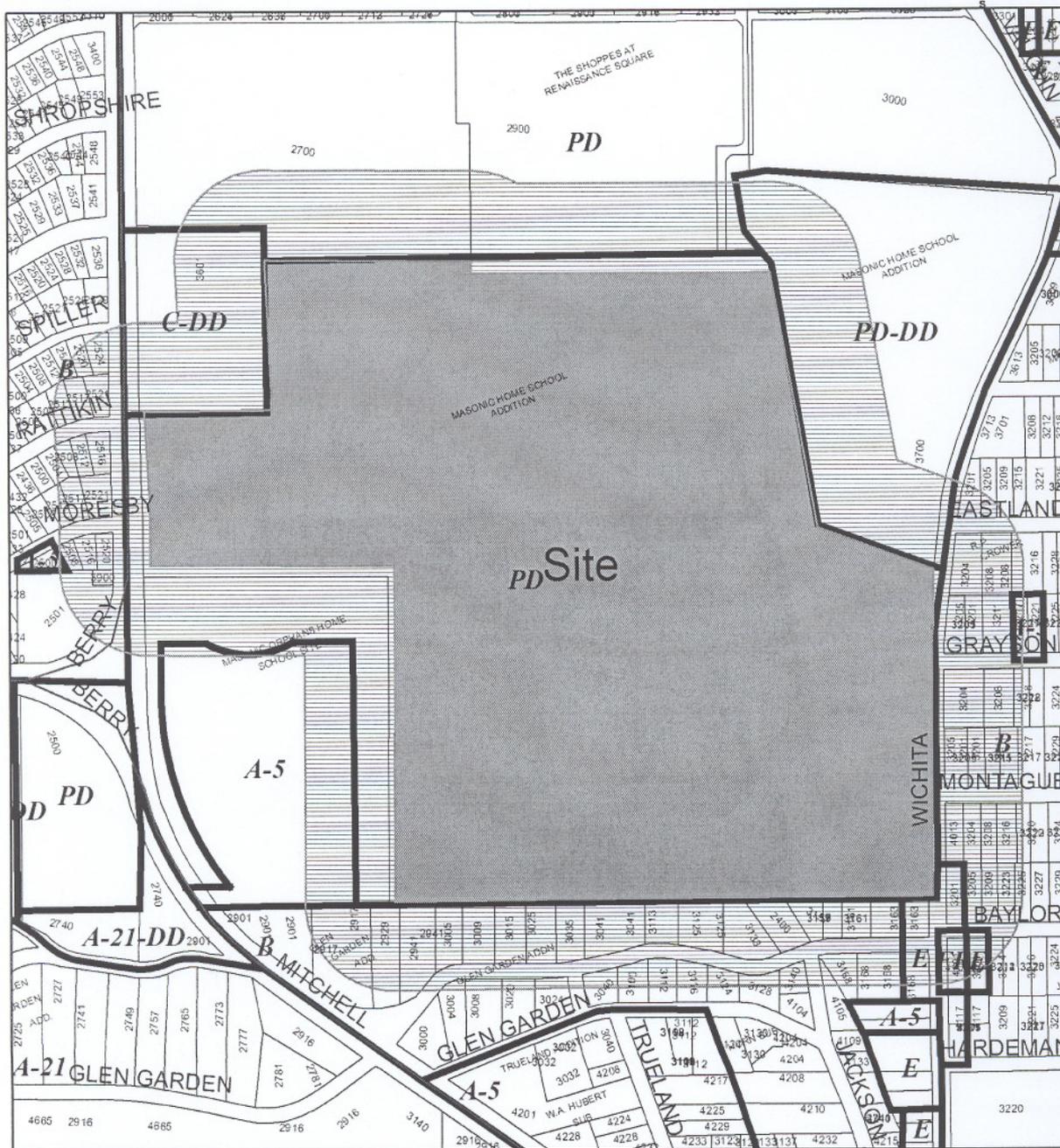


ZC-11-040

Area Zoning Map

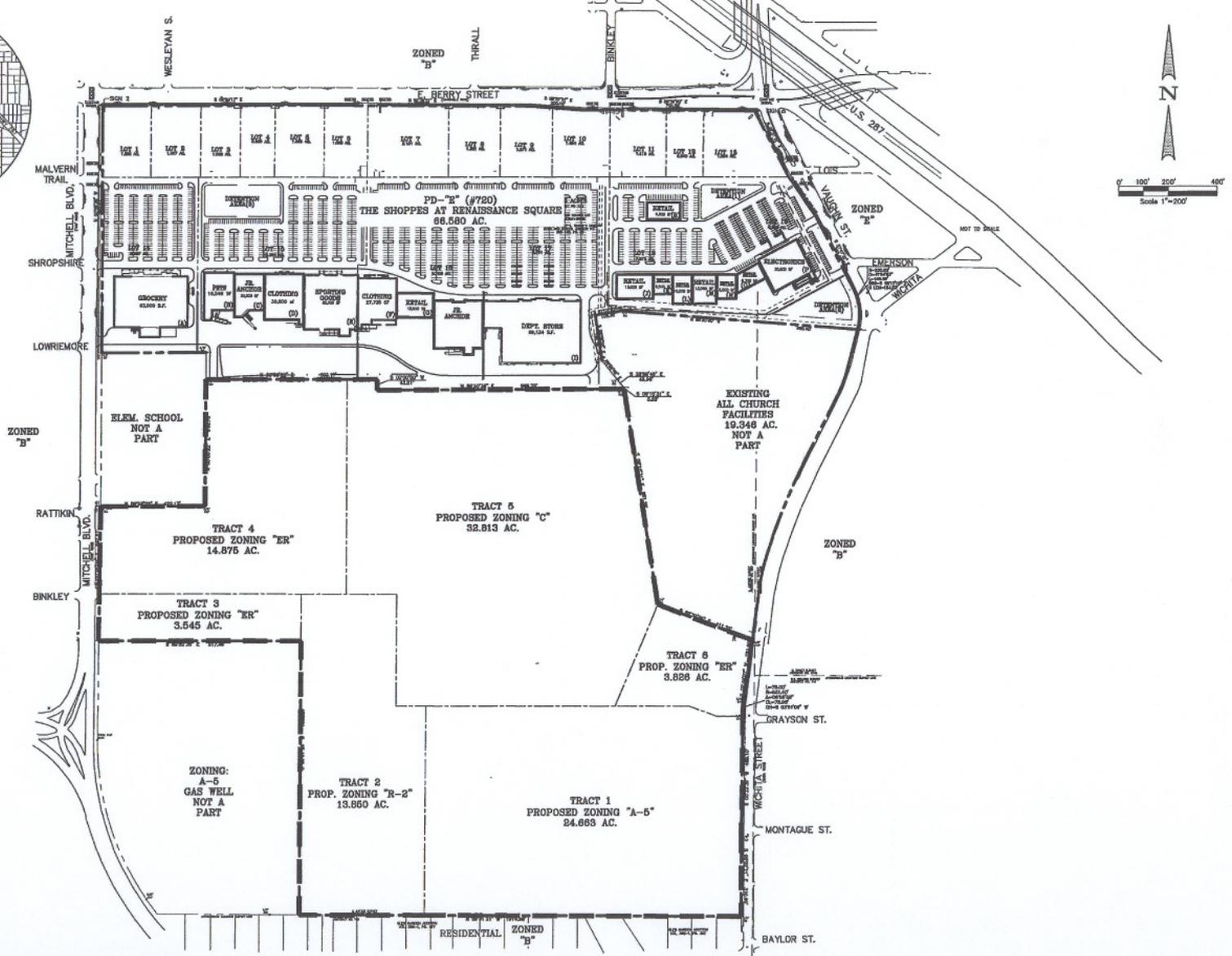
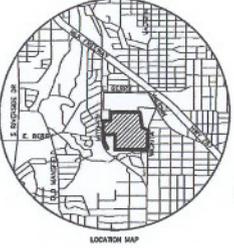
Applicant: F.W. Mason Heights, LP
 Address: 3670 Wichita Street
 Zoning From: PD-721 for A-5 uses
 Zoning To: PD/A-5, PD/R2, PD/ER+ assisted living, nursing home, & spa
 Acres: 94.41
 Mapsco: 78WX
 Sector/District: Southeast Contact: 817-392-8043
 Commission Date: 08/10/2011

300 Ft. Buffer



200 100 0 200 Feet





FLOOD NOTE:
 According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48439CD4101, dated August 25, 2000, this property is within Flood Zone X. Zone X - Area determined to be outside the 500-year floodlight. This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

<p>Winkelmann & Associates, Inc. SURVEYORS & ENGINEERS & ARCHITECTS 1000 N. CENTRAL EXPRESSWAY, #1500 DALLAS, TEXAS 75208 Copyright © 2011, Winkelmann & Associates, Inc.</p>	
No. _____ DATE _____ APPROVAL _____	J. JUSTICE GUNTER, LICENSE NO. 659 CITY ENGINEER CITY OF FORT WORTH, TARRANT COUNTY, TEXAS EAST WORTH MARCH HEIGHTS, L.P. 10000 N. CENTRAL EXPRESSWAY, #1500 DALLAS, TEXAS 75231
ZONING EXHIBIT MASON HEIGHTS FORT WORTH, TEXAS	
Scale: 1"=200' Date: 07/16/11 File: 2010020-0011.dwg Project No.: 26205.00(00)	SHEET 1 2

TRACT 1
Site Plan Waiver Requested

USES

"PD A-5" Planned Development for all uses in "A-5" Single Family District as herein modified.:

Lot Area:	Lot Width:	Rear Yard:
5500 SF minimum	55' minimum at building line	10' minimum

Development Standards: Minimum dwelling size shall be 1500 SF

LANDSCAPING/BUFFERING, SIDEWALKS, AND FORESTRY

Landscaping. Project will comply with Section 6.301, Landscaping.

"A-5" Landscaping Standards. The frontage along "The Collector" and Wichita Street shall provide a landscape buffer adjacent to the right of way in accordance with the following criteria:

- A. 6' Masonry screenwall to match All Church Home
- B. 4' sidewalk shall be located in the right of way
- C. 3" caliper trees at 40' on centers

Trees shall be selected from the following:

- A. Live Oak
- B. Lacebark Elm
- C. Shumard (Red) Oak
- D. Chinese Pistache
- E. Cedar Elm

Shrubs shall be selected from the following:

- A. Dwarf Burford Holly
- B. Dwarf Texas Sage
- C. Indian Hawthorn (Clara)
- D. Abelia
- E. Dwarf Wax Myrtle

Additional Landscaping

Entry Features shall be incorporated per Detail A

A "Community Green" (in general accordance with Detail "D" attached) area shall be provided to allow for pedestrian connectivity from within the residential area to the center of the subdivision to in turn connect to the collector road and the public access easement to the commercial area of PD720.

Urban Forestry. Project will comply with Section 6.302, Urban Forestry.

Fencing Perimeter fencing shall be combination of brick columns and wrought iron to match the All Church Home.

LIGHTING

Street lighting. Light poles along the "The Collector" and within the subdivision shall be Black Powder coated.

BUILDING MATERIALS

The exterior façade of all residences shall have not less than 70% brick and/or stone coverage

AMENDMENTS

Amendments to this ordinance shall be processed per Section 4.303 of the Zoning Ordinance.

TRACT 2
Site Plan Waiver Requested

USES

"PD R-2" Planned Development for all uses in "R-2" Townhouse uses.

LANDSCAPING/BUFFERING, SIDEWALKS, AND FORESTRY

Landscaping. Project will comply with Section 6.301, Landscaping.

"R-2" Landscaping Standards. Lots with frontage along "The Collector" shall provide a landscape buffer adjacent to the right of way in accordance with the following criteria:

- A. 4' sidewalk shall be located in the right of way
- B. 3" caliper trees at 40' on centers

Trees shall be selected from the following:

- A. Live Oak
- B. Lacebark Elm
- C. Shumard (Red) Oak
- D. Chinese Pistache
- E. Cedar Elm

Shrubs, if utilized, shall be selected from the following:

- A. Dwarf Burford Holly
- B. Dwarf Texas Sage
- C. Indian Hawthorn (Clara)
- D. Abelia
- E. Dwarf Wax Myrtle

A "Community Green" (in general accordance with Detail "E" attached) area shall be provided at a minimum of 15% but no less than 25,000 square feet.

Urban Forestry. Project will comply with Section 6.302, Urban Forestry.

GASWELL BOUNDARY

6' masonry screen wall to match All Church Home

LIGHTING

Light poles along the "The Collector" and within the subdivision shall be Black Powder coated.

BUILDING HEIGHT

Maximum height shall not exceed 32 feet – slab to top plate 3 stories

BUILDING MATERIALS

The exterior façade of all residences shall have not less than 70% brick and/or stone coverage.

AMENDMENTS

Amendments to this ordinance shall be processed per Section 4.303 of the Zoning Ordinance.

TRACTS 3, 4, 6
Site Plan Required

USES

"PD-ER" Planned Development for all uses in "ER" Neighborhood Commercial Restricted and including the following uses:

- Assisted Living Facility
- Nursing Home with full medical services
- Massage Therapy and Spa

LANDSCAPING/BUFFERING, SIDEWALKS, AND FORESTRY

Landscaping. Project will comply with Section 6.301, Landscaping.

Landscaping Standards. Lots with frontage on Mitchell Blvd., Wichita Street and "The Collector" shall provide a landscape buffer adjacent to the right of way in accordance with the following criteria:

- A. Landscape buffer minimum 10 feet in width
- B. 3" caliper trees at 40' on centers
- C. 5 gallon shrubs to screen head in parking
- D. 4' wide sidewalk shall be located in the right of way

Trees shall be selected from the following:

- A. Live Oak
- B. Lacebark Elm
- C. Shumard (Red) Oak
- D. Chinese Pistache
- E. Cedar Elm

Shrubs shall be selected from the following:

- A. Dwarf Burford Holly
- B. Dwarf Texas Sage
- C. Indian Hawthorn (Clara)
- D. Abelia
- E. Dwarf Wax Myrtle

Landscaping In Parking Lot. One three-inch caliper tree within an irrigated landscape island of not less than 150 square feet with live groundcover shall be provided for every 100 parking spaces, or fraction thereof. A separate irrigated landscape island is required for every 100 parking spaces; the required 150-square foot landscape areas cannot be combined to create fewer, larger landscape islands. In addition, each end of a parking strip shall have an irrigated landscape island planted with a minimum of one three-inch caliper tree and three shrubs within an area of not less than 300 square feet with live ground cover.

Urban Forestry. Project will comply with Section 6.302, Urban Forestry.

LOT LIGHTING

Parking lot lighting. Light poles shall be no more than 30 feet in height and painted black, dark gray or have bronze oxidant protective coating. The main entrance shall be lit to be distinguishable from surrounding ambient lighting. Lighting within the bufferyard adjacent to residential property shall not exceed one foot candle at ground level. Light poles within 140 feet of residential property shall not exceed 20 feet in height and shall be shielded away from residential property.

Street lighting. Light poles along the collector street and at the intersection with Mitchell Blvd. or Wichita St. shall be black powder coated.

BUILDING HEIGHT

Maximum height shall not exceed 35 feet.

SIGNS-Per Code

AMENDMENTS

Amendments to this ordinance shall be processed per Section 4.303 of the Zoning Ordinance.

TRACT 5
Site Plan Required

USE

"PD/C" Planned Development for all uses in "C" Medium Density Multi-Family District

BUILDING LAYOUT

- A. Multi-Family buildings will be situated such that parking is internal to the site. i.e. buildings will be adjacent to the right of way without parking between the buildings and right of way.
- B. A public access easement shall be provided to connect the drive at the southeast corner of PD720 (PD-E-Renaissance Square) through tract to the entry to the single family in tract 1.

LANDSCAPING/BUFFERING, SIDEWALKS, AND FORESTRY

Landscaping. Project will comply with Section 6.301, Landscaping.

"C" Landscaping Standards. Lots with frontage along "The Collector" shall provide a landscape buffer adjacent to the right of way in accordance with the following criteria:

- A. Landscape buffer minimum 10 feet in width
- B. 3" caliper trees at 40 feet on center
- C. 5 gallon shrubs to screen head in parking
- D. 4' wide sidewalk shall be located in the right of way.

"C" uses along "The Collector" shall also include a fence of brick columns and wrought iron to match the All Church Home.

Trees shall be selected from the following:

- A. Live Oak
- B. Lacebark Elm
- C. Shumard (Red) Oak
- D. Chinese Pistache
- E. Cedar Elm

Shrubs shall be selected from the following:

- A. Dwarf Burford Holly
- B. Dwarf Texas Sage
- C. Indian Hawthorn (Clara)
- D. Abelia
- E. Dwarf Wax Myrtle

Landscaping In Parking Lot. One three-inch caliper tree within an irrigated landscape island of not less than 150 square feet with live groundcover shall be provided for every 100 parking spaces, or fraction thereof. A separate irrigated landscape island is required for every 100 parking spaces; the required 150-square foot landscape areas cannot be combined to create fewer, larger landscape islands. In addition, each end of a parking strip shall have an irrigated landscape island planted with a minimum of one three-inch caliper tree and three shrubs within an area of not less than 300 square feet with live ground cover.

Urban Forestry. Project will comply with Section 6.302, Urban Forestry.

Fencing Perimeter fencing shall be required for "C" uses and shall be constructed of brick columns and wrought iron to match the All Church Home.

LOT LIGHTING

Parking lot lighting. Light poles shall be no more than 30 feet in height and painted black, dark gray, or dark green or have bronze oxidant protective coating. The main entrance shall be lit to be distinguishable from surrounding ambient lighting. Lighting within the bufferyard adjacent to residential property shall not exceed one foot candle at ground level. Light poles within 140 feet of residential property shall not exceed 20 feet in height and shall be shielded away from residential property.

Street lighting. Light poles along the collector street and at the intersection with Mitchell Blvd. or Wichita St. shall be black powder coated.

BUILDING HEIGHT

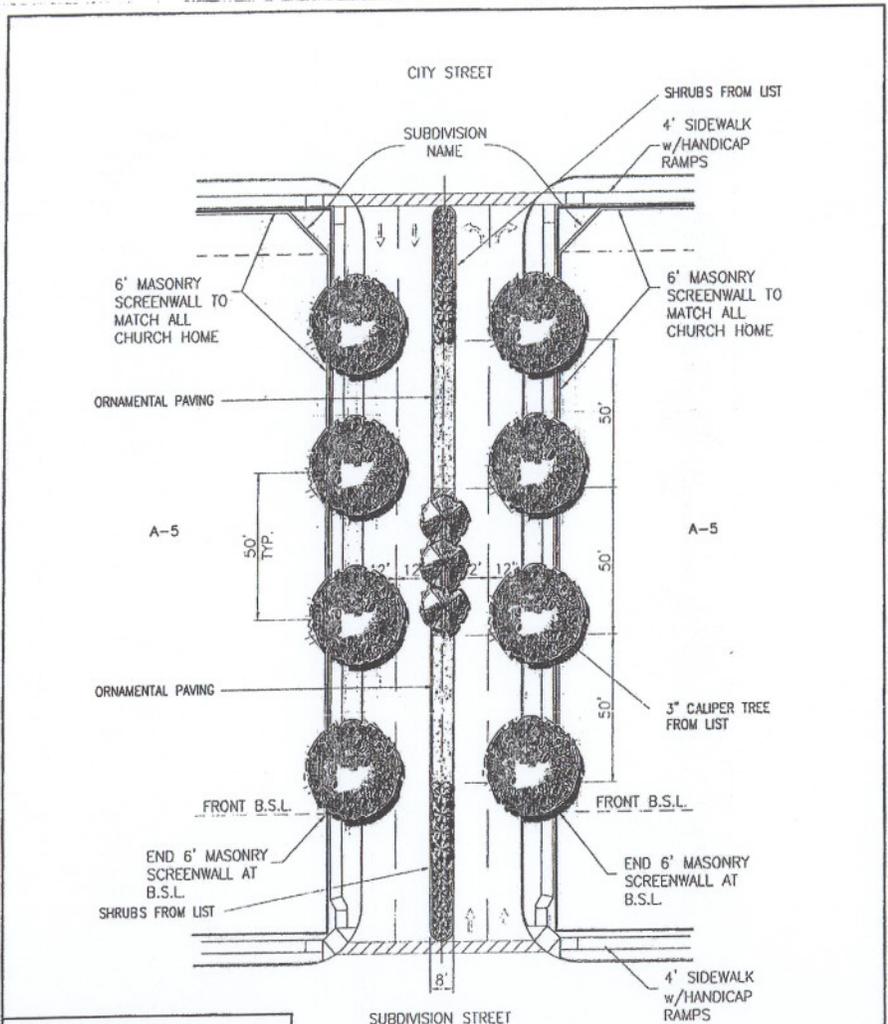
Maximum height shall not exceed 32 feet – slab to top plate 3 stories

BUILDING MATERIALS

The exterior façade of all main and accessory buildings shall have not less than 70% brick and/or stone coverage. No EIFS shall be permitted below 4' above slab.

SIGNS-Per Code

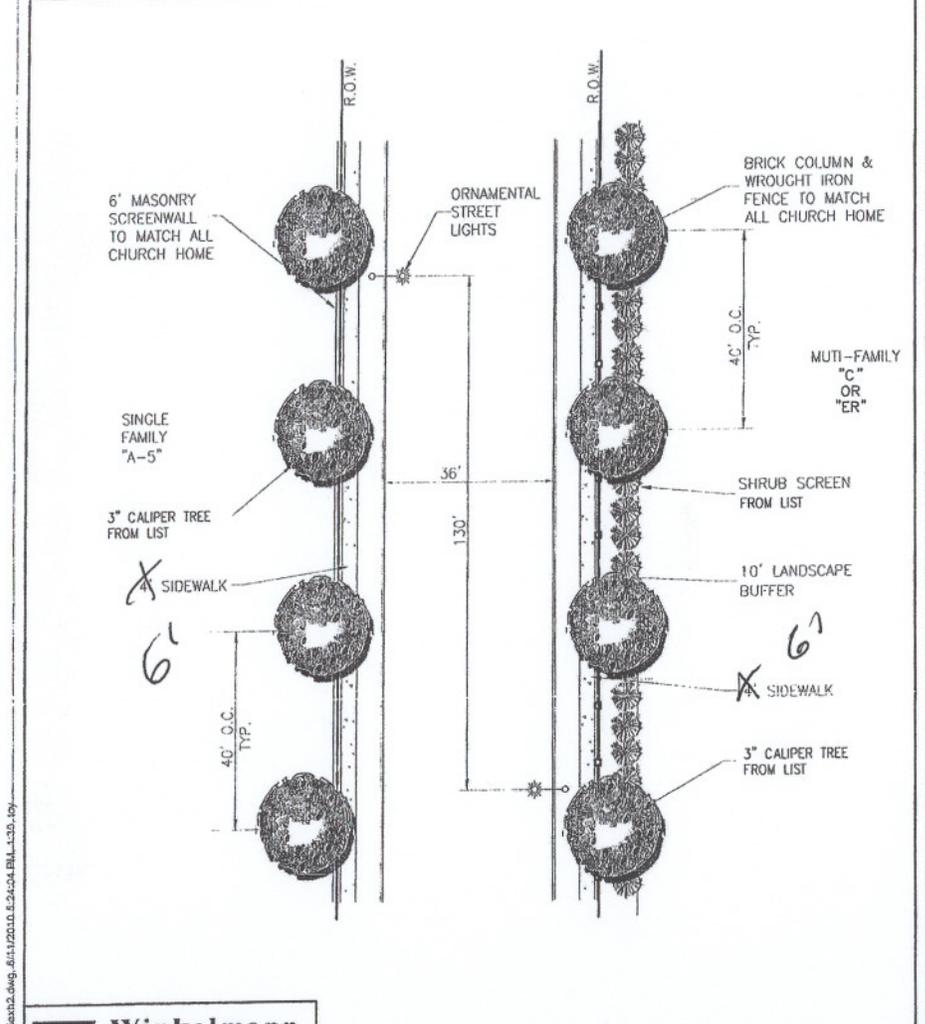
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DETAIL "A" TRACT 1
ENTRY TO RESIDENTIAL

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS & SURVEYORS
4750 HILLCREST PLAZA DRIVE, SUITE 125
DALLAS, TEXAS 75246
Phone: (972) 498-7800
Fax: (972) 498-7893
Texas Engineer's Registration No. 409
Surveyor's No. 100865-20
CERTIFICATE # 2110, Winkelmann & Associates, Inc.

Scale: 1" = 40'
Date: 06/11/10
Dwg. File: 26055sect1.dwg
Project No.: 26055.01(10)



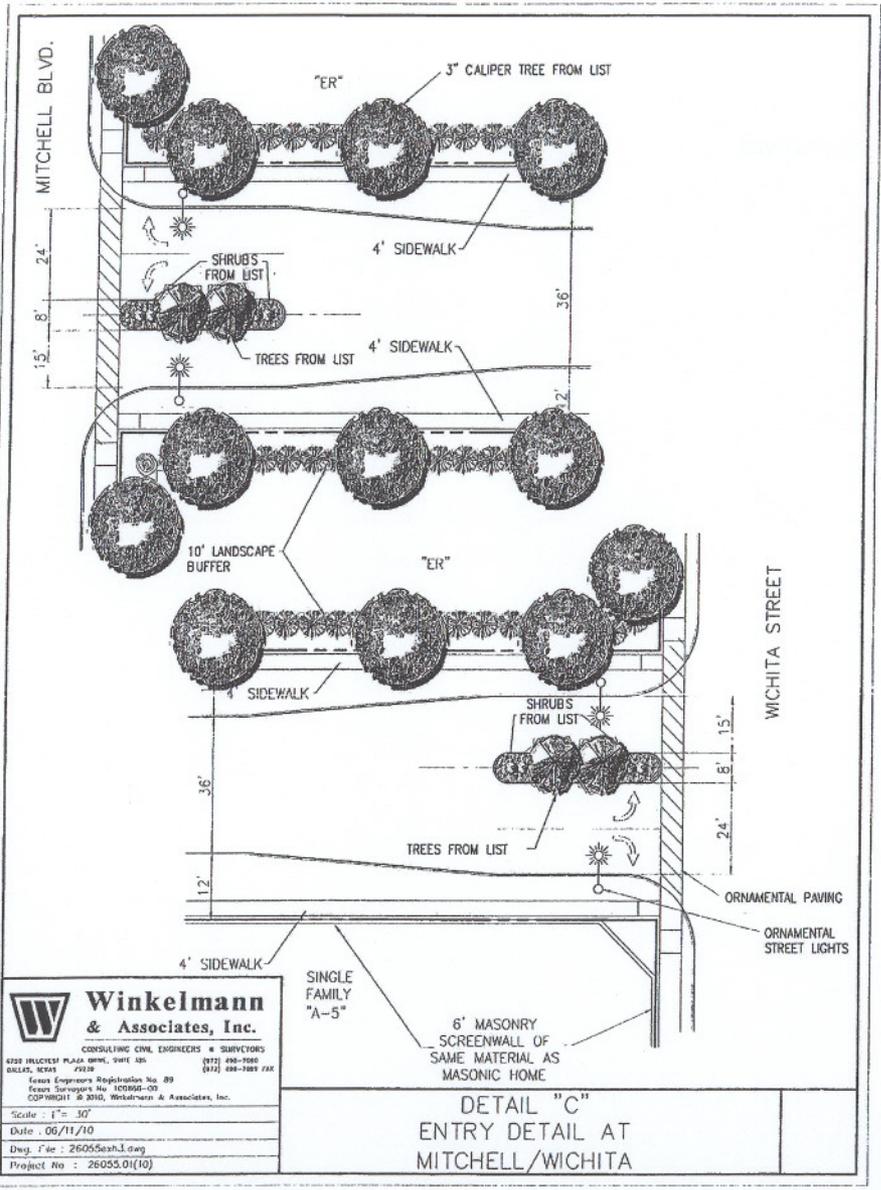
DETAIL "B"
COLLECTOR STREET
AT RESIDENTIAL

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS & SURVEYORS
4750 HILLCREST PLAZA DRIVE, SUITE 125
DALLAS, TEXAS 75246
Phone: (972) 498-7800
Fax: (972) 498-7893
Texas Engineer's Registration No. 409
Surveyor's No. 100865-20
CERTIFICATE # 2110, Winkelmann & Associates, Inc.

Scale: 1" = 30'
Date: 06/11/10
Dwg. File: 26055sect2.dwg
Project No.: 26055.01(10)

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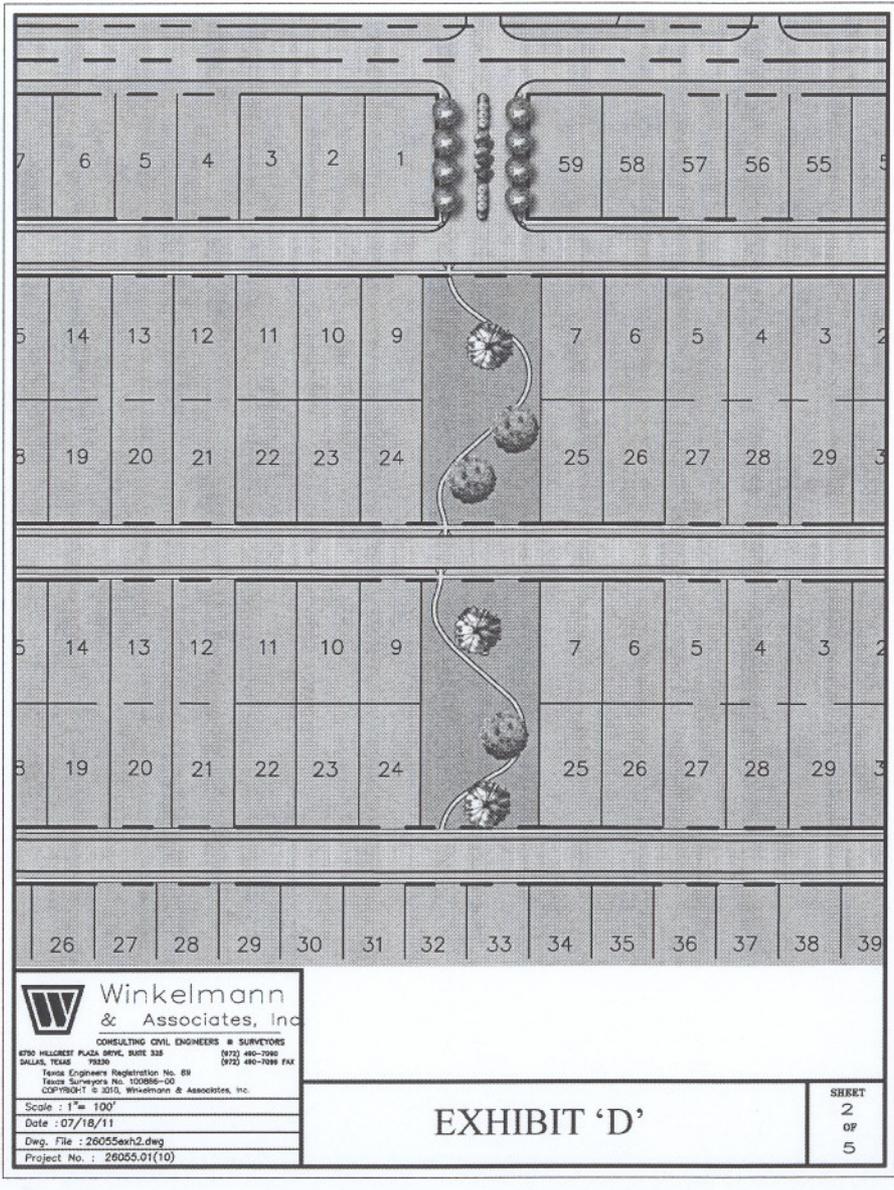
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Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6720 HILLCREST PLAZA, SUITE 300, DALLAS, TEXAS 75230
 (972) 490-7000 (972) 490-7000 FAX
 Texas Engineers Registration No. 89
 Texas Surveyors No. 100866-00
 COP/RIGHT S 2010, Winkelmann & Associates, Inc.

Scale : 1" = 30'
 Date : 06/11/10
 Dwg. File : 26055sewh3.dwg
 Project No : 26055.01(10)

DETAIL "C"
 ENTRY DETAIL AT
 MITCHELL/WICHITA

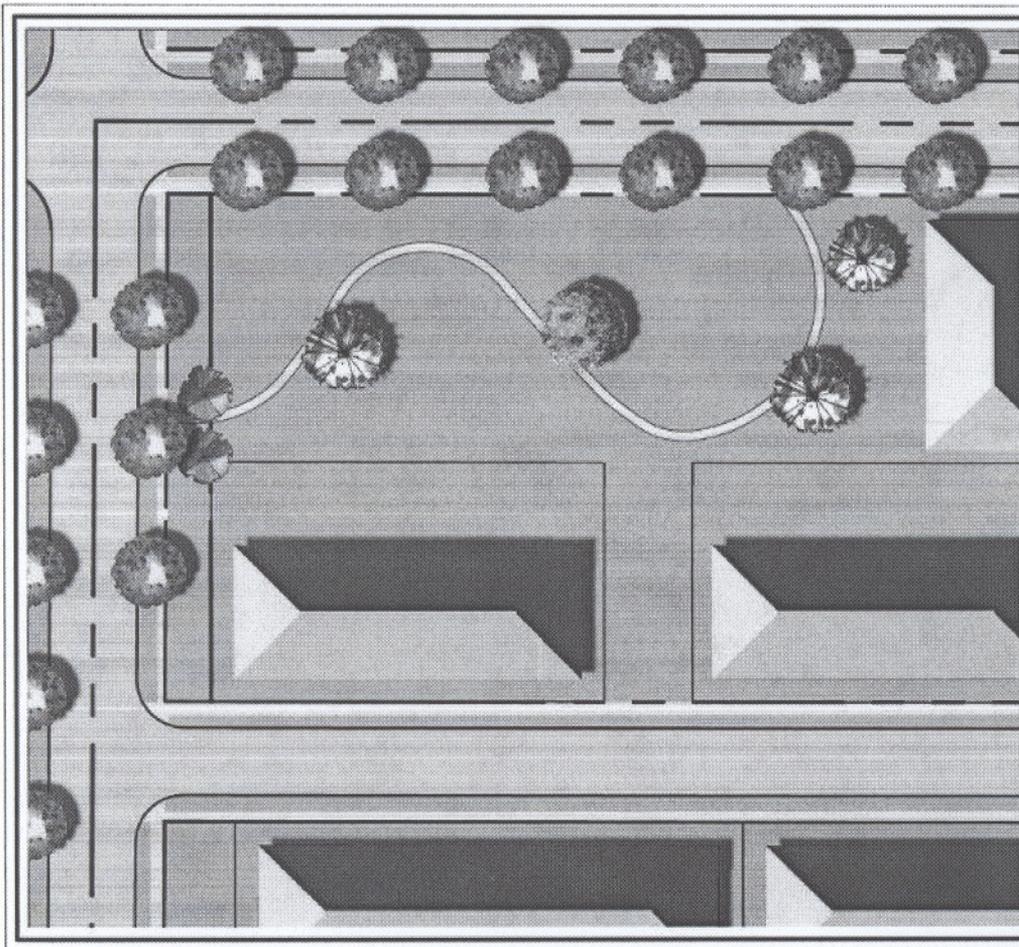


Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6720 HILLCREST PLAZA, SUITE 300, DALLAS, TEXAS 75230
 (972) 490-7000 (972) 490-7000 FAX
 Texas Engineers Registration No. 89
 Texas Surveyors No. 100866-00
 COP/RIGHT S 2010, Winkelmann & Associates, Inc.

Scale : 1" = 100'
 Date : 07/18/11
 Dwg. File : 26055sewh2.dwg
 Project No : 26055.01(10)

EXHIBIT 'D'

SHEET	2
OF	5



**Winkelmann
& Associates, Inc.**
 CONSULTING CIVIL ENGINEERS & ARCHITECTS
 1000 MILLERS FALLS ROAD, SUITE 200
 MILWAUKEE, WISCONSIN 53224
 PHONE: (414) 481-7000
 FAX: (414) 481-7001
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 TELEFAX: (414) 481-7003
 TELEX: 250000 WINKELMANN & ASSOCIATES, INC.
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Scale: 1"=30'
 Date: 07-28-11
 Dwg. File:
 Project No.:

SECRET
 07

DETAIL 'E'

Mr. Ortiz asked where the transit station is proposed. Ms. O'Quinn mentioned to the south.

Mr. Romero mentioned he brought up the concern at the last meeting about seeing renderings of what is proposed since a site plan is not required. He also mentioned it would be helpful to share this type of information with the neighborhood so they know what they are getting. Ms. O'Quinn responded by saying it is a zoning issue and it is up to the Commissioners to determine the best and highest use for the property. She also mentioned they do not have a developer yet but Mr. Mallick is very particular about who builds on or buys his property. Mr. Mallick has had meetings with the neighborhood associations. Ms. O'Quinn explained the market will drive what type of living will be there seniors and or younger people.

Andre McEwing representing Southeast Fort Worth Inc. spoke in support of the request. He did mention they met with Mr. Mallick and stated there are various moving parts associated with this project.

Mr. Edmonds mentioned it was encouraging to have development in this area.

Mr. Romero asked if this zoning is to entice a developer and does the neighborhood feel the control of their vision has been taken out of their hands. Mr. McEwing responded by saying he trusts the developer to do the right thing and that they know what the vision is for this area.

Motion: Following brief discussion, Mr. Romero recommended approval of the request, seconded by Ms. Reed. The motion carried unanimously 9-0.

IV. New Cases

2. ZC-11-040 F. W. Mason Heights (CD 8)- 3670 Wichita Street (J. Justice Survey, Abstract 859 & Portion of Lot 1, Block 1, Masonic Home and School Addition, 94.40 Acres): from "PD-721" Planned Development for "A-5" One-Family Residential uses to include a restricted buffer area from any gas well head within 600 feet to Amend "PD-721" to create: Tract 1: "PD/A-5" Planned Development for "A-5" One-Family Residential uses with development standards; site plan waiver requested; Tract 2: "PD/R2" Planned Development for Townhouse/Cluster uses with development standards; site plan waiver requested; Tracts 3, 4, & 6: "PD/ER" Planned Development for "ER" Neighborhood Commercial Restricted uses plus assisted living facility, nursing home with full medical services and massage therapy with development standards; site plan required; and Tract 5: "PD/C" Planned Development for "C" Medium Density Multifamily uses with development standards; site plan required.

Happy Baggett, 4440 Harmon Road, Fort Worth, Texas representing Mason Heights mentioned this is the third phase of the project. He said they have been working on this site for two years trying to bring in commercial developers and that this area is lacking services to serve the neighborhood. He also mentioned they have been working with the neighborhood for about 18 months getting an ideal of what type of development they want to see here.

Mr. Romero commended the great job they've done. His concern is the proposed road coming up from the south through the multifamily. He mentioned his concern about the on street parking and could it be moved interior to the buildings.

Mike Clark, 6750 Hillcrest Plaza, Suite 325, Dallas, Texas explained to Mr. Romero the concept plan submitted is meant to be changed. He did not think they can totally restrict the parking off the access easement. In regards to school access, children would not be able to access from the back of the property and expect the school would not want multiple points of access; they will need to access the school from Mitchell Street.

Andre McEwing, representing Southeast Fort Worth, Inc. in rebuttal mentioned he wanted to make sure there is connectivity within the site and asked if they would consider a continuance to look at the bigger picture.

Dr. Barnes asked about any suggestions he may have for the applicant. Mr. McEwing stated they could restrict access to the elementary school and possibly have an increased setback from the multifamily for school safety and to provide a setback from the existing residences.

Mr. Baggett in rebuttal mentioned they have proposed an eight foot fence that screens them from the school and will be providing a six foot sidewalk.

Mr. Romero asked about the fencing. Mr. Baggett stated a site plan is required at the time of development that will address this.

Dr. Barnes asked if they had any conversations with Southside Inc. Mr. Baggett mentioned they have not met with them and are ready to move forward. They would not request a continuance based on the time and money spent so far.

Mr. Wilson mentioned he didn't know how tall the townhomes are but would not want them to be able to see in the backyard of the single-family homes. Mr. Clark mentioned he would work with the neighborhood on the minor changes prior to Council.

Motion: Following brief discussion, Mr. Romero recommended approval of the request, seconded by Ms. Zadeh. The motion carried unanimously 9-0.

<i>Document received for written correspondence</i>				<i>ZC-11-040</i>	
Name	Address	In/Out 200 ft notification area	Position on case		Summary
Carl Pointer/United Community Assoc.	na			Support	Letter submitted
Robert Smith/Lockard Development	na			Support	Letter submitted