
INFRASTRUCTURE AND TRANSPORTATION COMMITTEE MEETING
TUESDAY, FEBRUARY 14, 2017
2:30 P.M.
CITY COUNCIL CONFERENCE ROOM, CITY HALL, ROOM 290
200 TEXAS STREET, FORT WORTH, TEXAS

CITY COUNCIL WORK SESSION MEETING
TUESDAY, FEBRUARY 14, 2017
3:00 P.M.
CITY COUNCIL CONFERENCE ROOM, CITY HALL, ROOM 290
200 TEXAS STREET, FORT WORTH, TEXAS

1. Report of the City Manager - **David Cooke, City Manager**
 - a. Changes to the City Council Agenda
 - b. Upcoming and Recent Events
 - c. Organizational Updates and Employee Recognition(s)
 - d. Informal Reports
 - [IR 9985](#): Amendment to Economic Development Program Agreement with Clearfork Development Company, LLC to Extend the Completion Deadline for the First Phase
 - [IR 9986](#): Texas Enterprise Zone Nomination of TTI, Inc.
 - [IR 9987](#): Agreement with Revitalize Charging Solution, Inc., for a Charging Station at the Guinn School Complex
 - [IR 9988](#): December 2016 - Sales Tax Update
2. Current Agenda Items - **City Council Members**
3. Responses to Items Continued from a Previous Week
4. Briefing on Collaboration Between Police and Code Compliance - **Ed Kraus, Police and Brandon Bennett, Code Compliance**
5. Briefing on Evaluation of 2017 Tax Credit Applications - **Aubrey Thagard, Neighborhood Services**
6. Update on MedStar Ordinance and Interlocal Agreement with City of Fort Worth - **Chief Rudy Jackson and Mark Rauscher, Fire**
7. Briefing on Economic Development Program Agreement with Heart of America Group LLC - **Carol Griffith, Economic Development**
8. City Council Requests for Future Agenda Items and/or Reports
9. Executive Session (CITY COUNCIL CONFERENCE ROOM, CITY HALL, ROOM 290) -

SEE ATTACHMENT A

Attachment(s):

[Executive Session Agenda - Attachment A.pdf](#)

CITY COUNCIL CONFERENCE ROOM, CITY HALL, ROOM 290, is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at (817) 392-8552 or e-mail ADA@FortWorthTexas.gov at least 48 hours prior to the meeting so that appropriate arrangements can be made. If the City does not receive notification at least 48 hours prior to the meeting, the City will make a reasonable attempt to provide the necessary accommodations.

ATTACHMENT A
EXECUTIVE SESSION
CITY COUNCIL CONFERENCE ROOM
CITY HALL, ROOM 290
Tuesday, February 14, 2017

- A. The City Council will conduct a closed meeting in order to discuss matters permitted by the following sections of Chapter 551 of the Texas Government Code:

CITY ATTORNEY

1. Section 551.071, CONSULTATION WITH ATTORNEY

To seek the advice of its attorneys concerning the following pending or contemplated litigation or other matter that is exempt from public disclosure under Article X, Section 9 of the Texas State Bar Rules:

- a. Legal issues concerning any item listed on today's City Council meeting agendas.

CITY MANAGER

1. Section 551.072, DELIBERATIONS REGARDING REAL PROPERTY

Deliberate the purchase, sale, lease or value of real property where deliberation in an open meeting would have a detrimental effect on the position of the City in negotiations with a third party.

2. Section 551.087, DELIBERATIONS REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS

Deliberate the commercial or financial information or the offer of a financial or other incentive to a business prospect.

- B. The City Council may reconvene in open session in the City Council Conference Room and act on any item listed on the Executive Session Agenda in accordance with Chapter 551 of the Texas Government Code.

**CITY COUNCIL AGENDA
FOR THE MEETING AT 7:00 P.M. TUESDAY, FEBRUARY 14, 2017
CITY COUNCIL CHAMBER, CITY HALL
200 TEXAS STREET, FORT WORTH, TEXAS**

I. CALL TO ORDER

II. INVOCATION -Imam Talib Salahuddin, Masjid Hassan AL Islam

III. PLEDGES OF ALLEGIANCE TO THE UNITED STATES AND THE STATE OF TEXAS

(State of Texas Pledge: "Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible,")

IV. CONSIDERATION OF MINUTES OF THE CITY COUNCIL WORK SESSION AND REGULAR MEETING OF FEBRUARY 7, 2017

V. ITEMS TO BE WITHDRAWN FROM THE CONSENT AGENDA

VI. ITEMS TO BE CONTINUED OR WITHDRAWN BY STAFF

VII. CONSENT AGENDA

Items on the Consent Agenda require little or no deliberation by the City Council. Approval of the Consent Agenda authorizes the City Manager, or his designee, to implement each item in accordance with staff recommendations.

A. General - Consent Items

1. [M&C G-18944](#) - Adopt Amendment to the Schedule of Rates and Charges for the Public Events Department to Establish the Fee for Conducting Economic Impact Studies (COUNCIL DISTRICTS 7 and 9)
2. [M&C G-18945](#) - Adopt Resolution Authorizing the Application and Acceptance of Fiscal Year 2016 Homeland Security Grant from the State of Texas, Office of the Governor (ALL COUNCIL DISTRICTS)
3. [M&C G-18946](#) - Authorize a Change in Use of Funds in the Amount of \$80,000.00 Appropriated in Aviation's Fiscal Year 2017 Operating Budget, in the Municipal Airports Fund, from Contribution to Fund Balance to the Municipal Airports Capital Project Fund to Purchase Furniture for the Newly Renovated Meacham Administration Building and Adopt Appropriation Ordinance (COUNCIL DISTRICT 2)
4. [M&C G-18947](#) - Adopt Appropriation Ordinance in the Amount of \$400,000.00 for the Eagle Mountain Water Treatment Plant Pump Station Number One Drive Replacement Project (COUNCIL DISTRICT 7)

B. Purchase of Equipment, Materials, and Services - Consent Items

1. [M&C P-11997](#) - Authorize Purchase Agreement for Elevator and Escalator Services with Premier Elevator Services, Inc., for an Annual Amount Up to \$600,000.00 for the City of Fort Worth (ALL COUNCIL DISTRICTS)
2. [M&C P-11998](#) - Authorize Execution of a Professional Services Contract with MasterWord Services, Inc., in a Combined Amount Up

to \$400,000.00 Per Year to Provide Translation Services in Specified Languages for City Departments (ALL COUNCIL DISTRICTS)

3. [M&C P-11999](#) - Authorize Non-Exclusive Purchase Agreement for Park and Recreational Equipment, Shelter Equipment and Field Lighting Products, Using Cooperative Contracts for the Initial Combined Annual Amount Up to \$750,000.00 for the Park and Recreation Department (ALL COUNCIL DISTRICTS)

C. Land - Consent Items - None

D. Planning & Zoning - Consent Items - None

E. Award of Contract - Consent Items

1. [M&C C-28107](#) - Authorize Execution of a Second Agreement with Oncor Electric Delivery Company LLC, in an Amount Not to Exceed \$65,272.17 for the Installation of Primary Cable in Customer Installed Conduit at the North Service Center, for a Total Project Not to Exceed \$130,544.34 (2014 Bond Program) (COUNCIL DISTRICT 7)
2. [M&C C-28108](#) - Adopt Appropriation Ordinance in the Amount of \$53,259.00 for the Police Department's Participation in the Federal Bureau of Investigation's Tarrant County Safe Streets Task Force for Fiscal Year 2017 (ALL COUNCIL DISTRICTS)
3. [M&C C-28109](#) - Authorize Execution of a Contract with Utility Service Co., Inc., in the Amount of \$852,435.00 for the Caylor Ground Storage Tank Rehabilitation and Repaint Project, Provide for Project Management, Staff Time and Contingencies for a Total Project Amount of \$952,435.00, Adopt Reimbursement Resolution Expressing Official Intent to Reimburse Expenditures with Proceeds of Future Debt and Adopt Appropriation Ordinance (COUNCIL DISTRICT 7)
4. [M&C C-28110](#) - Authorize Execution of Amendment No. 5 to City Secretary Contract No. 28006, an Engineering Agreement with Dannenbaum Engineering Corporation, in the Amount of \$149,012.00, for Sanitary Sewer Main 257 and 325 Middle and Upper Village Creek Parallel Relief Alignment Study and Design from Hemphill Street to West Rendon Crowley Road Project and Provide for Property Acquisition and Project Management Costs for a Revised Contract Amount of \$1,469,778.28, and Adopt a Reimbursement Resolution Expressing Official Intent to Reimburse Expenditures with Proceeds of Future Debt and Adopt Appropriation Ordinance (COUNCIL DISTRICTS 6 AND 8)

VIII. PRESENTATIONS BY THE CITY SECRETARY - CONSENT ITEMS

IX. SPECIAL PRESENTATIONS, INTRODUCTIONS, ETC.

X. ANNOUNCEMENTS BY CITY COUNCIL MEMBERS AND STAFF

1. Upcoming and Recent Events

2. Recognition of Citizens
3. Approval of Ceremonial Travel

XI. PRESENTATIONS BY THE CITY COUNCIL

1. Changes in Membership on Boards and Commissions

XII. PRESENTATIONS AND/OR COMMUNICATIONS FROM BOARDS, COMMISSIONS AND/OR CITY COUNCIL COMMITTEES

XIII. RESOLUTION

1. A Resolution Waiving Fees for Stabilization of Historic Swift Wall on Northeast 23rd Street

XIV. REPORT OF THE CITY MANAGER

A. Benefit Hearing - None

B. General

1. [M&C G-18948](#) - Approve Applications for Partial Approval of the Historic Site Tax Exemption for 1601 Alston Avenue, 1704 Lipscomb Street, 1823 6th Avenue, 2205 Alston Avenue and 1000 Bessie Street (COUNCIL DISTRICTS 8 and 9)

C. Purchase of Equipment, Materials, and Services - None

D. Land

1. [M&C L-15999](#) - Institute Annexation and Adopt Ordinance for Proposed City-Initiated Annexation of Approximately 19.77 Acres of Land in Tarrant and Denton Counties, Located in the Far North Planning Sector, East of IH-35W, North of Old Denton Road and Along Elizabethtown Cemetery Road (FUTURE COUNCIL DISTRICT 7)
2. [M&C L-16000](#) - Institute Annexation and Adopt Ordinance for the City-Initiated Annexation of Approximately 9.75 Acres of Land in Tarrant County, Located in the Far Southwest Planning Sector, South of the Risinger Road and Crowley Road/FM 731 Intersection (FUTURE COUNCIL DISTRICT 6)
3. [M&C L-16001](#) - Institute Annexation and Adopt Ordinance for the City-Initiated Annexation of Approximately 16.79 Acres of Land in Tarrant County, Located in the Far South Planning Sector, South of Crowley Cleburne Road and Along the West Side of Crowley Road/FM 731 (FUTURE COUNCIL DISTRICT 6)

E. Planning & Zoning - None

F. Award of Contract

1. [M&C C-28111](#) - Authorize Execution of an Agreement with the United Way of Tarrant County in the Amount of \$2,956,912.00 to Implement Action Items from *Directions Home*, the City's Ten Year Plan to Make Homelessness Rare, Short-Term and Nonrecurring (ALL COUNCIL DISTRICTS)
2. [M&C C-28112](#) - Authorize Acceptance of a Grant from the Texas Department of Housing and Community Affairs in an

Amount Up to \$7,000,000.00 for the 2017 Comprehensive Energy Assistance Program, a Federally Funded Program Sponsored by U.S. Department of Health and Human Services Designed to Provide Utility Payment Assistance and Energy Conservation Education for Low to Moderate Income Residents, Authorize Related Contracts, Adopt Appropriation Ordinance, and Waive Indirect Cost (ALL COUNCIL DISTRICTS)

3. [M&C C-28113](#) - Authorize Acceptance of 2017 Community Services Block Grant Funds, a Federally Funded Program Sponsored by U. S. Department of Health and Human Services to Support the Reduction of Poverty, the Revitalization of Low-Income Communities and the Empowerment of Low-Income Families and Individuals to Become Fully Self-Sufficient, in an Amount Up to \$2,500,000.00 from the Texas Department of Housing and Community Affairs, Authorize Execution of Related Contracts, Adopt Appropriation Ordinance, and Waive Indirect Costs (ALL COUNCIL DISTRICTS)

XV. ZONING HEARING

1. [ZC-17-025](#) - (CD 3) - Philena Darrow Smith, 2601 Hartwood Drive; From: "A-10" One-Family To: Add HC "Historic and Cultural" Overlay (**Recommended for Approval by the Zoning Commission**)
2. [ZC-17-028](#) - (CD 6) - City of Fort Worth Planning & Development: Annexation Area 47, Generally bounded by Risinger Road, Crowley Road/FM 731, Crowley Cleburne, UPRR; From: Unzoned To: "A-5" One-Family, "R1" Zero Lot Line/Cluster and "I" Light Industrial (**Recommended for Approval by the Zoning Commission**)
3. [ZC-17-029](#) - (CD 6) - City of Fort Worth Planning & Development, Annexation Area 48-1, 1600 block (odds) N. Crowley Road, 10400 Crowley Road; From: Unzoned To: "I" Light Industrial (**Recommended for Approval by the Zoning Commission**)
4. [ZC-17-030](#) - (CD 7) - City of Fort Worth Planning & Development, Annexation Area 3-1, 14295, 14441 Old Denton Road, 9120 N. Tarrant; From: Unzoned To: "I" Light Industrial (**Recommended for Approval by the Zoning Commission**)

XVI. CITIZEN PRESENTATIONS

XVII. EXECUTIVE SESSION (CITY COUNCIL CONFERENCE ROOM, CITY HALL, ROOM 290) - SEE ATTACHMENT B

XVIII. ADJOURNMENT

According to the City Council Rules of Procedures, individual citizen presentations shall be limited to three minutes, and group presentations shall be limited to ten minutes. At the Mayor's discretion, time limits may be reasonably extended.

Fort Worth Council Chamber, is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need accommodations, auxiliary aids, or services such as interpreters, readers, or large print are requested to contact the City's ADA Coordinator at

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ATTACHMENT B
EXECUTIVE SESSION
CITY COUNCIL CONFERENCE ROOM
CITY HALL, ROOM 290
Tuesday, February 14, 2017

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INFRASTRUCTURE AND TRANSPORTATION COMMITTEE

Tuesday, February 14, 2017

2:30 pm

City Council Conference Room, City Hall, Room 290

200 Texas Street

Fort Worth, Texas 76102

Committee Members

Council Member Sal Espino, Chair
Council Member Jungus Jordan, Vice Chair

Council Member Ann Zadeh
Council Member Zim Zimmerman

City Staff

Jay Chapa, Staff Liaison
Leann Guzman, Sr. Assistant City Attorney
Leticia Azocar, Coordinator

I. CALL TO ORDER

II. ACTION ITEMS

- A. Approval of October 11, 2016 meeting minutes

III. BRIEFINGS

- A. Update on Village Creek Improvements and Capital Projects– Chris Harder, Assistant Director, Water Department

IV. FUTURE AGENDA ITEMS

- A. Requests for future agenda items
- B. The next meeting is scheduled for April 11, 2017, 2:00 PM

V. ADJOURN

Please Note: Additional members of the Fort Worth City Council may be attending the meeting for information-gathering purposes. Any members of the Council who are not on the Board will not be deliberating or voting on any Board agenda items.

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**CITY OF FORT WORTH
INFRASTRUCTURE AND TRANSPORTATION COMMITTEE
Meeting Minutes of October 11, 2016**

Committee Members Present:

Sal Espino, Council Member and Chairman
Jungus Jordan, Council Member and Committee Vice Chair
Zim Zimmerman, Council Member
Ann Zadeh, Council Member

Members Absent:

None

City Staff Present:

Jay Chapa, Assistant City Manager
Leann Guzman, Senior Assistant City Attorney
Carman, Director, Water Department
Jessica Brown, P.E., Freese and Nichols, Inc.
Leticia Azocar, ITC Coordinator, Transportation and Public Works Department

Agenda Item I: Call to Order:

Committee Chair, Council Member Espino, called the meeting to order at 2:00 p.m.

Agenda Item II: Approval of Minutes:

The first order of business was approving the minutes from the September 13, 2016 meeting. Council Member Jordan made a motion for approval and Council Member Zimmerman seconded the motion. Committee members voted to approve the minutes as written.

Agenda Item III: Water and Wastewater Impact Fee Update

Mr. Carman presented a map that indicated projected areas with the highest growth intensity in Fort Worth. The city is growing and with this growth, it will require water and sewer infrastructure.

Mr. Carmen discussed the stakeholder groups involved in the Impact Fee development process, the Capital Advisory Committee (per Chapter 395), Water/Wastewater Wholesale Customer Sub-Committee (per wholesale contract), Development Advisory Committee Reps and Water/Wastewater Retail Rates Sub-Committee.

Mr. Carmen gave a brief overview of the Impact Fee amendment process. The process involves the projection of service area needs over a 10 year planning period. The process includes Land Use Assumptions (population, LUA, number of additional service units) and Capital Improvement Plan (growth related improvements pro-rated over planning period), Maximum Impact Fee (projected cost

of growth related CIP divided by growth related equivalent meters). Once completed a draft ordinance is proposed, notice of public hearing and then adoption of fees.

Information was given on what determines the procedures and next steps. They are, the Texas Local Government Code Chapter 395 and Fort Worth Water Department's Wholesale Contract terms.

Mr. Carman presented the next steps in the process and the biggest differences in 2017 vs. previous years. The differences include the following: Financing costs included, TRA and TRWD regional provider capital and financing costs are included and detailed credit calculation performed to determine true impact of growth.

Mr. Carman introduced Jessica Brown with Freese and Nichols (consultant) for the second half of the presentation.

Ms. Brown gave an overview of Impact Fee eligible Capital Improvement Plan (CIP) and a comparison of eligible costs for 2017 vs eligible costs in 2013 for Water Facility and Wastewater Facility. She also presented a comparison of Impact fees with other utilities of cities throughout Texas and a comparison with local city utilities.

Ms. Brown gave a recap of the information presented on Chapter 395, Wholesale Customer Contract and the next steps to be taken and the differences between this year's update and previous years.

Comments

No comments.

Request for Future Agenda Items:

Councilmember Zadeh requested a presentation on lowering the default speed limits in neighborhoods.

Councilmember Jordan requested an update on our trail system. And requested update on the TRV funding schedule.

Councilmember Espino requested a briefing on ridesharing background checks.

Date of Next Meeting:

November 8, 2016

Adjournment:

With no further presentations or discussions, Chairman Espino adjourned the regular meeting of the Infrastructure and Transportation Committee at 2:32 P.M., Tuesday, October 11, 2016.

These minutes approved by the Infrastructure and Transportation Committee on the 14th day of February 2017.

APPROVED:

Sal Espino, Chairman

Minutes Prepared by and Attested:

Leticia Azocar, Senior Administrative Assistant



Updated February 9, 2017

*City of Fort Worth
City Council Work Session Agenda Calendar*

February 14, 2017

*9:00 a.m. Council Tour of Cavile/Stop Six
2:30 p.m. Infrastructure & Transportation Committee
3:00 p.m. City Council Work Session Meeting*

- o Briefing on Collaboration Between Police and Code Compliance [*Ed Kraus, Police and Brandon Bennett, Code Compliance*]
- o Briefing on Evaluation of 2017 Tax Credit Applications [*Aubrey Thagard, Neighborhood Services*]
- o Update on MedStar Ordinance and Interlocal Agreement with City of Fort Worth [*Chief Rudy Jackson and Mark Rauscher, Fire*]
- o Briefing on Economic Development Program Agreement with Heart of America Group LLC [*Carol Griffith, Economic Development*]

February 16, 2017 *(Thursday)*

5:30 p.m. Fort Worth Crime Control and Prevention District Board of Directors Meeting (1st Quarter Meeting)

February 21, 2017

*1:00 p.m. Audit Committee (cancelled)
3:00 p.m. City Council Work Session Meeting*

Continued Items:

- **ZC-16-173** - (COUNCIL DISTRICT 5 – Gyna Bivens) - Leland Pennington Investments Inc, 3613-3625 (odds) Elm Street, 3612-3632 (evens) Oak Street; From: "AG" Agricultural To: "I" Light Industrial (Recommended for Denial by the Zoning Commission) (**Continued from December 6, 2016 by Council Member Bivens**)
- o Briefing on Fort Worth Police Department's Simulator [*Chief Joel Fitzgerald, Police*]
- o Briefing on Healthcare Costs [*Brian Dickerson, Human Resources*]



Updated February 9, 2017

City of Fort Worth
City Council Work Session Agenda Calendar

February 28, 2017

City Council Work Session (cancelled)

March 7, 2017 **Monthly Zoning Meeting**

1:00 p.m. Legislative and Intergovernmental Affairs Committee

2:00 p.m. Housing and Neighborhood Services Committee

3:00 p.m. City Council Work Session Meeting

- o Overview of Significant Zoning Cases [*Dana Burghdoff, Planning and Development*]
- o Briefing on 2016 Update and Overview from Local Chambers of Commerce
 - Fort Worth Chamber of Commerce [*Bill Thornton and Brandom Gengelbach*]
 - Fort Worth Hispanic Chamber of Commerce [*John Hernandez*]
 - Fort Worth Metropolitan Black Chamber of Commerce [*Dee Jennings*]
- o Briefing on Como Community Center [*Susan Alanis, City Manager's Office*]
- o Briefing on Multipurpose Arena [*Susan Alanis, City Manager's Office*]
- o Briefing on Fort Worth Police Department's Five-Year Strategic Plan [*Chief Joel Fitzgerald, Police*]
- o Briefing on Police Recruitment [*Chief Joel Fitzgerald, Police*]

March 14, 2017

2:00 p.m. Infrastructure & Transportation Committee (cancelled)

City Council Work Session (cancelled)

March 21, 2017

1:00 p.m. Audit Committee

3:00 p.m. City Council Work Session Meeting

- o Progress Report on the Fort Worth Public Art Master Plan Update Project [*Barbara Goldstein and Jessica Cusick, Project Consultants*]
- o Briefing on Sexual Assaults and Homicides and Strategies for Prevention [*Chief Joel Fitzgerald*]
- o Briefing on the Capital Public Improvement District Policy [*Aaron Bovos, Finance*]



Updated February 9, 2017

City of Fort Worth
City Council Work Session Agenda Calendar

March 28, 2017

3:00 p.m. City Council Work Session Meeting

- o Presentation of the 2016 Comprehensive Annual Financial Report [*Aaron Bovos, Finance and Kevin Sanford, Weaver*]
- o Presentation on the 2017 Debt Financing Plan [*Aaron Bovos, Finance*]
- o Briefing on Fire Department Master Plan [*Chief Rudy Jackson, Fire*]

April 4, 2017 ***Monthly Zoning Meeting***

1:00 p.m. Legislative and Intergovernmental Affairs Committee
Housing and Neighborhood Services Committee (Cancelled)

2:30 p.m. Fort Worth Housing Finance Corporation

3:00 p.m. City Council Work Session Meeting

- o Overview of Significant Zoning Cases [*Dana Burghdoff, Planning and Development*]

April 11, 2017

1:00 p.m. Audit Committee

2:00 p.m. Infrastructure & Transportation Committee

3:00 p.m. City Council Work Session Meeting

April 18, 2017

3:00 p.m. City Council Work Session Meeting

April 25, 2017

City Council Work Session (cancelled)

No Documents for this Section

**CITY OF FORT WORTH, TEXAS
CITY COUNCIL WORK SESSION
FEBRUARY 7, 2017**

Present:

Mayor Betsy Price
Mayor Pro tem Dennis Shingleton, District 7
Council Member Salvador Espino, District 2
Council Member W.B. "Zim" Zimmerman, District 3
Council Member Cary Moon, District 4
Council Member Gyna Bivens, District 5
Council Member Jungus Jordan, District 6
Council Member Kelly Allen Gray, District 8
Council Member Ann Zadeh, District 9

Staff Present:

David Cooke, City Manager
Sarah Fullenwider, City Attorney
Mary J. Kayser, City Secretary

With a quorum of the City Council Members present, Mayor Price called the Fort Worth City Council Work Session to order at 3:05 p.m. on Tuesday, February 7, 2017, in City Council Conference Room 290 of the Fort Worth City Hall, 200 Texas Street, Fort Worth, Texas.

1. Report of the City Manager - David Cooke, City Manager

a. Changes to the City Council Agenda

There were no changes to the City Council agenda.

b. Upcoming and Recent Events

February 10, 2017, City Council Retreat
February 14, 2017, City Council Tour of Cavile/Stop Six

c. Organizational Updates and Employee Recognition(s)

There were no Organizational updates.

d. Informal Reports

There were no Informal Reports.

2. Current Agenda Items - City Council Members

Councilmember Jordan asked City Attorney Fullenwider to review M&C L-15998 and confirm that land was not being given away.

3. Responses to Items Continued from a Previous Week

There were no items continued from the previous week.

4. Overview of Significant Zoning Cases - Dana Burghdoff, Planning and Development

5. Briefing on State of the District (Northwest ISD) - Dr. Ryder Warren, Northwest ISD

Dr. Warren reviewed the state of the Northwest ISD and reviewed its projected growth. He noted that as the district grows it will impact Fort Worth transportation and infrastructure.

6. Briefing on Fort Worth Police Athletic League - Buck Wheeler, Fort Worth Police Athletic League

Sergeant Buck Wheeler updated the Council on the Police Athletic League and the benefits of the program.

7. Update on Trinity Trails - Richard Zavala, Park and Recreation and Randle Harwood, Planning and Development

Mr. Zavala update the Council on the growth of the trail system, current projects and the future needs to fill gaps and to expand. He also addressed how the City is working with our partners on the trails to improve safety and address congestion.

8. Briefing on Proposed Development Standards for Historic Stockyards - Lee Einsweiler, Code Studio

Mr. Einsweiler briefed the Council on the components of the Form Based Code for the Stockyards and the next steps in the approval process.

9. City Council Requests for Future Agenda Items and/or Reports

There were no requests for future agenda items.

There being no further business, Mayor Price adjourned the City Council Work Session at 4:27 p.m.

These minutes approved by the Fort Worth City Council on the 14th day of February, 2017.

Attest:

Approved:

Mary J. Kayser
City Secretary

Betsy Price
Mayor

**CITY OF FORT WORTH, TEXAS
REGULAR CITY COUNCIL MEETING
FEBRUARY 7, 2017**

Present:

Mayor Betsy Price
Mayor Pro tem Dennis Shingleton, District 7
Council Member Salvador Espino, District 2
Council Member W.B. "Zim" Zimmerman, District 3
Council Member Cary Moon, District 4
Council Member Gyna Bivens, District 5
Council Member Jungus Jordan, District 6
Council Member Kelly Allen Gray, District 8
Council Member Ann Zadeh, District 9

Staff Present:

David Cooke, City Manager
Sarah Fullenwider, City Attorney
Mary J. Kayser, City Secretary

I. CALL TO ORDER

With a quorum of the City Council Members present, Mayor Price called the regular session of the Fort Worth City Council to order at 7:02 p.m. on Tuesday, February 7, 2017, in the City Council Chamber of the Fort Worth City Hall, 200 Texas Street, Fort Worth, Texas.

II. INVOCATION – Pastor Chris Freeland, McKinney Memorial Bible Church

The invocation was provided by Pastor Chris Freeland of McKinney Memorial Bible Church in Fort Worth.

III. PLEDGES OF ALLEGIANCE TO THE UNITED STATES AND THE STATE OF TEXAS

The Pledge of Allegiance to the United States of America and the State of Texas was recited.

IV. CONSIDERATION OF MINUTES OF THE JOINT CITY COUNCIL AND FORT WORTH EMPLOYEES' RETIREMENT FUND BOARD AND CITY COUNCIL WORK SESSION OF JANUARY 24, 2017, AND CITY COUNCIL WORK SESSION AND THE REGULAR MEETING OF JANUARY 31, 2017

Motion: Council Member Zimmerman made a motion, seconded by Council Member Moon, that the minutes of the Joint City Council and Fort Worth Employees' Retirement Fund Board and City Council Work Session of January 24, 2017, and City Council Work Session and the Regular meeting of January 31, 2017, be approved. Motion passed 9-0.

V. ITEMS TO BE WITHDRAWN FROM THE CONSENT AGENDA

City Manager Cooke requested that Mayor and Council Communication L-15998 be withdrawn from the Consent Agenda for individual consideration.

VI. ITEMS TO BE CONTINUED OR WITHDRAWN BY STAFF

There were no items to be continued or withdrawn by staff.

VII. CONSENT AGENDA

Motion: Council Member Allen Gray made a motion, seconded by Council Member Zimmerman, that the Consent Agenda be approved as amended. Motion passed 9-0.

A. General - Consent Items

- 1. M&C G-18938 - Adopt Resolution No. 4740-02-2017 Authorizing the City Attorney to Retain the Law Firm of Kelly Hart & Hallman, LLP, as Outside Legal Counsel, Pursuant to Chapter VI, Section 3 of the City Charter, to Provide Legal Representation to Defend the City in a Fee Dispute Brought by Cantey Hanger LLP (ALL COUNCIL DISTRICTS)**
- 2. M&C G-18939 - Adopt Revised Schedule of Parking Rates and Charges for the Municipal Parking System at the Fort Worth Convention Center to be Effective on March 1, 2017 (COUNCIL DISTRICT 9)**
- 3. M&C G-18940 - Authorize Temporary Closure of a Segment of Pharr Street One-Hundred Feet West of its Intersection with the I-35 Southbound Service Road from February 15, 2017 Through March 15, 2017 (COUNCIL DISTRICT 8)**
- 4. M&C G-18941 - Approve Request of Downtown Fort Worth Initiatives, Inc., for Temporary Street Closures from April 17, 2017 Through April 24, 2017 to Accommodate the 2017 Main Street Fort Worth Arts Festival (COUNCIL DISTRICT 9)**

Ms. Toby Norris, 1513 Hurley Avenue, submitted a comment card in opposition to Mayor and Council Communication G-18941.

5. **M&C G-18942 - Authorize Acceptance of an Additional Award in the Amount of \$235,000.00 in Fiscal Year 2015 Homeland Security Grant Program Funds from the United States Department of Homeland Security Through the State of Texas, Office of the Governor, Authorize Execution of Related Documents, and Adopt Appropriation Ordinance No. 22590-02-2017 (ALL COUNCIL DISTRICTS)**

B. Purchase of Equipment, Materials, and Services - Consent Items

1. **M&C P-11995 - Authorize Purchase of an Etnyre Chip Spreader from RB Everett & Company in the Amount of \$179,910.00, Using a Cooperative Contract for the Transportation and Public Works Department Through the Property Management Department (ALL COUNCIL DISTRICTS)**

C. Land - Consent Items

1. **M&C L-15997 - Authorize Direct Sale of a City Fee-Owned Property Located at 3009 Hemphill Street to a Buyer for the Amount of the Highest Cash Offer, in Accordance with Section 253.014 of the Texas Local Government Code (COUNCIL DISTRICT 9)**

E. Award of Contract - Consent Items

1. **M&C C-28098 - Authorize Execution of One-Year Annual Contracts with Renewal Options for Construction Inspection Services for Various City Construction Projects with Freese and Nichols, Inc., Lamb-Star Engineering, L.P., Lina T. Ramey and Associates, Inc., Multatech Engineering, Inc., Pape-Dawson Engineers, Inc., CMT Engineering, Inc. d/b/a PaveTex, TEI Program/Construction Management, Inc., Teague Nall & Perkins, Inc., and VRX, Inc., with a Fee Not to Exceed \$900,000.00 Annually Per Firm (ALL COUNCIL DISTRICTS)**
2. **M&C C-28099 - Authorize Execution of a Professional Services Agreement with Kimley-Horn and Associates, Inc., in an Amount Not to Exceed \$87,800.00 for Construction Phase Administration Services for the Construction of Heritage Trace Parkway and Tehama Ridge Parkway Roundabout Intersection (ALL COUNCIL DISTRICTS)**
3. **M&C C-28100 - Authorize Execution of an Interlocal Agreement with Tarrant County with City Participation in the Amount of \$362,299.90 for Street Rehabilitation on South Pipeline Road from Raider Road to House Anderson Road (COUNCIL DISTRICT 5)**

- 4. M&C C-28101 - Authorize Establishment of Ten Quiet Zones - Five at Union Pacific Railroad Crossings: Ayers Avenue, Hughes Avenue, Oakland Boulevard, Tierney Road, and Handley Drive; Four at Burlington Northern Santa Fe Railroad Crossings: Bonds Ranch Road, W. Seminary Drive, W. Butler Street, and W. Biddison Street; and One at Trinity Railway Express Railroad Crossing: Mosier Valley Road After the Necessary Construction Has Been Completed at Each Location (COUNCIL DISTRICTS 5, 7, 8 and 9)**
- 5. M&C C-28102 - Authorize Execution of Change Order No. 4 in the Amount of \$768,894.00 to City Secretary Contract No. 46976 with The Ridgemont Company d/b/a Ridgemont Commercial Construction, Inc., for a Revised Contract Amount of \$26,310,304.00 for the North Service Center (2014 BOND PROGRAM) (COUNCIL DISTRICT 7)**
- 6. M&C C-28103 - Ratify Emergency Contract with William J. Schultz, Inc. d/b/a Circle "C" Construction Company, City Secretary No. 46849, in the Final Amount of \$63,640.00 for Emergency Sanitary Sewer Repair Work Performed at 6200 Pioneer Parkway (COUNCIL DISTRICT 5)**
- 7. M&C C-28104 - Ratify Emergency Contract with William J. Schultz, Inc. d/b/a Circle "C" Construction Company, City Secretary No. 46850, in the Final Amount of \$63,955.00 for Emergency Sanitary Sewer Repair Work Performed at 6286 Broadway Avenue and Approximately Six Hundred Fifty Feet West of Lavon Drive (COUNCIL DISTRICT 4)**
- 8. M&C C-28105 - Authorize Execution of a Contract with Excel 4 Construction, LLC, in the Amount of \$891,350.00 for Sanitary Sewer Rehabilitation, Contract 92, Part 1 Located in the University West-Park Hill Place, Colonial Hills and University Place Neighborhoods, Provide for Project Costs and Contingencies for a Total Project Amount of \$1,085,050.00 and Adopt Appropriation Ordinance No. 22591-02-2017 (COUNCIL DISTRICTS 3 and 9)**

VIII. PRESENTATIONS BY THE CITY SECRETARY - CONSENT ITEMS

- 1. Notice of Claims for Alleged Damages and/or Injuries**

End of Consent Agenda.

B. General

2. **M&C L-15998 - Authorize Dedication of All Easements Required to Facilitate the Development of a Future Charter School on City Property Located at 5817 and 5901 Boca Raton Boulevard (COUNCIL DISTRICT 4)**

Ms. Altonette Wilson, 3329 Wayland Drive, completed an undecided speaker card relative to Mayor and Council Communication L-15998 and was recognized by Mayor Price but was not present in the Council Chamber.

Motion: Council Member Moon made a motion, seconded by Mayor Pro tem Shingleton, that Mayor and Council Communication L-15998 be approved. Motion passed 9-0.

IX. SPECIAL PRESENTATIONS, INTRODUCTIONS, ETC.

1. **Presentation by Fort Worth Sister Cities, Inc. and the Administration of the Citizen Diplomat Oath**

Mr. Johnny Campbell, Chair, Fort Worth Sister Cities, Inc., recognized five businessmen visiting from Reggio Emilia, Italy with interest in expanding their business to Fort Worth.

Ms. Hannah Barron, Trier Germany Chair, presented the experience of the eighteen member delegation of community and business leaders to Trier, Germany.

City Manager Cooke shared his experience and invited Mayor Price to podium to present a gift from Trier, Germany.

Ms. Mae Ferguson, President and Chief Executive Officer, recognized students and teachers who will represent Fort Worth as part of the Youth Ambassador Exchange program traveling to Reggio Emilia, Italy, Trier, Germany, Budapest, Hungary, Toluca, Mexico. Mayor Price administered the Citizen Diplomat Oath to the Youth Ambassadors.

X. ANNOUNCEMENTS BY CITY COUNCIL MEMBERS AND STAFF

1. **Upcoming and Recent Events**

Mayor Price, Council Members Espino, Moon, Bivens, and Allen Gray announced upcoming and recent events within the City and various Council districts.

2. Recognition of Citizens

There was no recognition of citizens.

3. Approval of Ceremonial Travel

There was no approval of ceremonial travel.

XI. PRESENTATIONS BY THE CITY COUNCIL

1. Changes in Membership on Boards and Commissions

Motion: Mayor Pro tem Shingleton on behalf of the Legislative and Intergovernmental Affairs Committee made a motion, seconded by Council Member Espino, to approve the appointments of Mr. Robert Lee to Place 4 and Ms. Leslie Thompson to Place 8 on the Fort Worth Art Commission with terms expiring September 30, 2018. Motion passed 9-0.

XII. PRESENTATIONS AND/OR COMMUNICATIONS FROM BOARDS, COMMISSIONS AND/OR CITY COUNCIL COMMITTEES

There were no presentations and/or communications from boards, commissions and/or City Council committees.

XIII. ORDINANCE

1. An Ordinance Ordering a General Election by the Qualified Voters of the City of Fort Worth, Texas, on May 6, 2017, for the Purpose of Electing the Mayor and City Council Members for City of Fort Worth and Ordering a Runoff Election, If Needed

Motion: Council Member Jordan made a motion, seconded by Mayor Pro tem Shingleton, that Ordinance No. 22592-02-2017, be adopted. Motion passed 9-0.

XIV. ZONING HEARING

The Notice of Special Hearing set today as the date for the hearing in connection with recommended changes and amendments to Zoning Ordinance No. 13896 and that notice of the hearing had been given by publication in the *Fort Worth Star-Telegram*, the official newspaper of the City of Fort Worth, on January 22, 2017.

Mayor Price opened the public hearing

1. **ZC-16-192 - (CD 9) - City of Fort Worth Planning & Development: Text Amendment: Create Berry/University Form Based Code; An Ordinance amending the Zoning Ordinance of the City of Fort Worth, being Ordinance No. 21653, as amended, codified as Appendix "A" of the Code of The City of Fort Worth (2015), by amending Article 13 "Form Based Districts", of Chapter 4, "District Regulations" to: Add a new section, Section 4.1308 Berry/University ("BU") District'; Add separate zones within the district; Provide for standards for new construction and certain renovations; Require a Certificate of Appropriateness for new construction and certain renovations; Provide for administrative approval of Certificate of Appropriateness under certain circumstances; Provide an appeal process; and Amend Section 4.1200 Form Based Districts Code Use Table to add the uses allowed within the Berry/University District (Recommended for Approval as Amended by the Zoning Commission to add buffer landscaping requirement when adjacent to "A-5", "B", or "BU-RA")**

The following individuals completed a speaker card in support of Zoning Docket ZC-16-192 and were recognized by Mayor Price but did not wish to address the Council:

Ms. Martha Jones, 3136 Wabash Avenue
Mr. Jim Johnson, 3224 Rogers Avenue

Motion: Council Member Zadeh made a motion, seconded by Council Member Bivens, that Zoning Docket ZC-16-192 be approved and Ordinance No. 22593-02-2017 be adopted. Motion passed 9-0.

2. **ZC-16-193 - (CD 9) - City of Fort Worth Planning & Development: Map Amendment: Create Berry Form Based Code with Subdistricts, Generally bounded by Bowie and Lowden Streets to the north, UPRR to the east, Devitt and Mission Streets to the south and Stadium to the west; From: "A-5" One-Family, "B" Two-Family, "C" Medium Density Multifamily, "ER" Neighborhood Commercial Restricted, "E" Neighborhood Commercial, "MU-1" Low Intensity Mixed Use, "MU-2" High Intensity Mixed Use, "J" Medium Industrial, PD38 "PD/SU" Planned Development/Specific Use to permit a small animal hospital; requiring a screening fence along the south boundary of the subject property, PD157 "PD/SU" for all uses in "E" and overnight parking of a dump truck with trailer subject to restrictions, PD497 Planned Development/Specific Use or all uses in "MU-2" High Intensity Mixed Use District except certain uses, PD 532 "PD/MU-1" Planned Development/Low Intensity Mixed-Use increasing the height to 80 feet, or six stories, for the area at 3113 South University Dr. and "PD/MU-2" Planned Development/High Intensity Mixed-Use for all uses in MU-2 except for certain uses, PD 667 "PD/SU" Planned Development/Specific Use for all uses in "C" Medium**

Density Multi Family Residential plus parking for Texas Christian University only and PD 826 "PD/MU-1" Planned Development for all uses in "MU-1" Low Intensity Mixed Use plus drive-thru restaurant per site plan To: Berry University Form Based Code with Subdistricts: Residential Attached (BU-RA), Residential Mixed Use (BU-RX), Commercial Mixed Use (BU-CX), Shopfront (BU-SH), Institutional Mixed Use (BU-IX) and Civic (BU-CIV) with Storm Water Bonus Area (Recommended for Approval by the Zoning Commission)

Motion: Council Member Zadeh made a motion, seconded by Council Member Allen Gray, that Zoning Docket ZC-16-193 be approved. Motion passed 9-0.

3. **ZC-17-001 - (CD 7) - Lennar Homes of Texas, 1197 Keller Haslet N/Westport, 600-800 blocks Rancho Canyon Way; From: "AG" Agricultural To: "A-5" One-Family and "A-7.5" One-Family (Recommended for Approval by the Zoning Commission)**

Mr. Patrick Haun, 777 Main Street, Suite 1200, appeared before Council in support of Zoning Docket ZC-17-001.

Motion: Mayor Pro tem Shingleton made a motion, seconded by Council Member Zimmerman, that Zoning Docket ZC-17-001 be approved. Motion passed 9-0.

4. **ZC-17-003 - (CD 4) - LRB Holdings Inc., 1849 Handley Ederville Road: From: "G" Intensive Commercial To: "I" Light Industrial (Recommended for Approval by the Zoning Commission)**

Mr. David Eseke, 2021 McKinney Avenue, Suite 900, Dallas, TX, completed a speaker card in support of Zoning Docket ZC-17-003 and was recognized by Mayor Price but did not wish to address the Council.

Motion: Council Member Moon made a motion, seconded by Council Member Zimmerman, that Zoning Docket ZC-17-003 be approved. Motion passed 9-0.

5. **ZC-17-004 - (CD 8) - Brian Villegas, 2155 New York Avenue; From: "A-5" One-Family To: "B" Two-Family (applicant request) "PD/B" Planned Development for all uses in "B" Two-Family with waiver to front yard parking; site plan waiver recommended (Zoning Commission recommendation) (Recommended for Approval as Amended to PD/B with front yard parking, site plan waiver)**

Mr. Brian Villegas, 2155 New York Avenue, appeared before Council in support of Zoning Docket ZC-17-004.

Motion: Council Member Allen Gray made a motion, seconded by Council Member Zimmerman, that Zoning Docket ZC-17-004 be approved. Motion passed 9-0.

6. **ZC-17-005 - (CD 9) - Texas Christian University, 2809-2829 (odds) Princeton Street; From: "C" Medium Density Multifamily/TCU Overlay To: PD 497 Planned Development for all uses in 'MU-1' Low Intensity Mixed Use excluding ambulance dispatch station, blood bank, electric power substation probation or parole office, auto repair, paint & body shop, boat rental or sales, cold storage or ice plant, gunsmithing, repair or sales, mini-warehouses, newspaper distribution center, assembly of pre-manufactured parts except for vehicle trailers, airplanes, mobile homes, bottling works, milk or soft drinks, manufacture of artificial flowers, ornaments, awnings, tents, bags, cleaning or polishing preparations, small boats, novelties and clothing, monument works stone, paper box manufacture, rubber stamp manufacture, sheet metal shop, warehouse or bulk storage, welding shop, custom work (not structural); with the following waivers to the MU-1 standards: 1) front yard setback on Cantey Street greater than 20 feet, 2) to not meet facade or fenestration requirements, 3) to not meet building material masonry requirements, 4) to not provide building entries to the public street, and 5) provide main entrances interior to the property; site plan waiver recommended/TCU Overlay (Recommended for Approval by the Zoning Commission)**

Motion: Council Member Zadeh made a motion, seconded by Mayor Pro tem Shingleton, that Zoning Docket ZC-17-005 be approved. Motion passed 9-0.

7. **ZC-17-006 - (CD 9) - Texas Christian University, 2800 & 2900 block Merida Avenue, From: "B" Two-Family/TCU Overlay To: PD 497 Planned Development for all uses in "MU-1" Low Intensity Mixed Use excluding ambulance dispatch station, blood bank, electric power substation probation or parole office, auto repair, paint & body shop, boat rental or sales, cold storage or ice plant, gunsmithing, repair or sales, mini-warehouses, newspaper distribution center, assembly of pre-manufactured parts except for vehicle trailers, airplanes, mobile homes, bottling works, milk or soft drinks, manufacture of artificial flowers, ornaments, awnings, tents, bags, cleaning or polishing preparations, small boats, novelties and clothing, monument works stone, paper box manufacture, rubber stamp manufacture, sheet metal shop, warehouse or bulk storage, welding shop, custom work (not structural); with the following waivers to the MU-1 standards: 1) front yard setback on Cantey Street greater than 20 feet, 2) to not meet facade or fenestration requirements, 3) to not meet building material masonry requirements, 4) to not provide building entries to the public street, and 5) provide main entrances interior to the property; site plan waiver recommended/TCU Overlay (Recommended for Approval by the Zoning Commission)**

Motion: Council Member Zadeh made a motion, seconded by Council Member Allen Gray, that Zoning Docket ZC-17-006 be approved. Motion passed 9-0.

- 8. SP-17-001 - (CD 3) - Ahmad and Ansari Investment Group LLC, 6728 W. Vickery Boulevard; From: PD 578 Planned Development/Specific Use for all uses in "E" Neighborhood Commercial plus: Neighborhood Grocery Market and Fuel Sales and excluding the following: adult day care; ambulance dispatch station; care facility, hospice, hospital; center, community recreation, or welfare (private or non-profit); private country club; continued golf driving range; place of worship; telecommunications antenna (or structure); telecommunications tower; utility transmission or distribution line; amusement outdoor; drive-in restaurant or business; lodge or civic club; drive thru bank massage therapy; commercial swimming pool; theater, movie or auditorium; rv park; antique shop, business college or commercial school; cold storage plant or ice plant; large retail (single story over 60,000 square feet); laundry, dry-cleaning or washateria; liquor store or package store; mortuary or funeral home; pawn shop; tattoo parlor; taxidermist shop; veterinary clinic with kennels; garage, storage only; parking area or garage, commercial or auxiliary; trailer, portable, sales, construction or storage; vendor, transient door-to-door; electric power substation; water supply, treatment or storage facility; bed and breakfast home or inn; airport, aviation field; helistop or landing area; batch plant concrete or asphalt plant (temporary) To: Amend PD 578 site plan to add retail buildings and parking (Recommended for Approval by the Zoning Commission)**

Mr. Daniel Shearer, 300 North Akard Street, #1712, Dallas, Texas, appeared before Council in support of Zoning Docket SP-17-001.

Motion: Council Member Zimmerman made a motion, seconded by Council Member Moon, that Zoning Docket SP-17-001 be approved. Motion passed 9-0.

- 9. ZC-17-008 - (CD 3) - Walid Elwaei, 3136 and 3142 Sappington Place; From: "A-5/AO" One-Family/NASJRB Airport Overlay To: "C/AO" Medium Density Multifamily/NASJRB Airport Overlay (applicant request) "B/AO" Two-Family/NASJRB Airport Overlay (Zoning Commission recommendation) (Recommended for Approval as Amended by the Zoning Commission to "B/AO")**

Mr. Walid Elwaei, 3142 Sappington Place, appeared before Council in support of Zoning Docket ZC-17-008.

Motion: Council Member Zimmerman made a motion, seconded by Council Member Moon, that Zoning Docket ZC-17-008 be approved. Motion passed 9-0.

10. **ZC-17-009 - (CD 7) - Mereken Land & Production Company, 3300 W. 4th Street; From: PD 733 Planned Development/Specific Use for Residence with Office for both units; site plan required To: Amend PD 733 for auxiliary parking lot only with waiver to utilize the existing fence to the west as the screening fence; site plan included (Recommended for Approval by the Zoning Commission)**

The following individuals completed speaker cards in support of Zoning Docket ZC-17-009 and were recognized by Mayor Price but did not wish to address the Council:

Mr. Ray Oujesky, 201 Main Street, Suite 2500
Ms. Lynnette Payne, 1547 North Highway 77, Italy, TX
Mr. Scott Noles, 3755 West 6th Street

Motion: Mayor Pro tem Shingleton made a motion, seconded by Council Member Bivens, that Zoning Docket ZC-17-009 be approved. Motion passed 9-0.

11. **SP-17-002 - (CD 9) - Will Ed Wadley, 120 University Drive; From: PD 458 "PD/SU" Planned Development/Specific Use for all uses in "E" Neighborhood Commercial including retail/showroom for rental of equipment for construction, banquets, catering and events. Warehousing for materials, equipment, linens, utensils and supplies. Outdoor display and storage of equipment, tools and other materials. Hours of operation 7:00 a.m. to 5:30 p.m. Monday thru Saturday. No storage of materials above the height of the fence. No intrusion by lights on the adjacent property. All booms and lifts will be stored in the lowered or retracted position To: Amend site plan PD 458 to allow for structure parking and increase the size of south building (Recommended for Approval by the Zoning Commission)**

Mr. Joe Hardin, 8628 Throncrest Court, North Richland Hills, Texas, completed a speaker card in support of Zoning Docket SP-17-002 and was recognized by Mayor Price but did not wish to address the Council.

Motion: Council Member Zadeh made a motion, seconded by Council Member Zimmerman, that Zoning Docket SP-17-002 be approved. Motion passed 9-0.

12. **ZC-17-012 - (CD 5) - Lucila Franco, 3211 Burton Avenue; From: "A-5" One-Family To: "PD/ER" Planned Development for a beauty salon with "ER" Neighborhood Commercial Restricted development standards; site plan included (Recommended for Approval by the Zoning Commission)**

Motion: Council Member Bivens made a motion, seconded by Mayor Pro tem Shingleton that Zoning Docket ZC-17-012 be approved. Motion passed 9-0.

There being no one else present desiring to be heard in connection with the recommended changes and amendments pertaining Zoning Ordinance No. 13896 for the above-listed cases, Council Member Bivens made a motion, seconded by Mayor Pro tem Shingleton, that the hearing be closed and Ordinance No. 22594-02-2017 be adopted. Motion passed 9-0.

XV. REPORT OF THE CITY MANAGER

B. General

- 1. M&C G-18943 - Adopt Ordinance Amending Chapter 22 "Motor Vehicles and Traffic," Article III "Operation of Vehicles," Section 22-86 "Speeding," Subsections (h) and (i) of the Code of the City of Fort Worth, Texas (2015), as Amended, to Change the Locations, Extent and Speed Limits of Certain Speed Zones (ALL COUNCIL DISTRICTS)**

Motion: Council Member Jordan made a motion, seconded by Mayor Pro tem Shingleton, that Mayor and Council Communication G-18943 be approved and Ordinance No. 22595-02-2017 be adopted. Motion passed 9-0.

C. Purchase of Equipment, Materials, and Services

- 1. M&C P-11996 - Authorize Execution of a Professional Services Agreement with All City Management Services, Inc., for Crossing Guard Services in an Amount Up to \$1,495,844.00 Per Year for the Police Department (ALL COUNCIL DISTRICTS)**

Motion: Council Member Zimmerman made a motion, seconded by Council Member Moon, that Mayor and Council Communication P-11996 be approved with appreciation. Motion passed 9-0.

E. Planning & Zoning

- 1. M&C PZ-3127 - Consider Appeal of the Denial by the City Plan Commission Regarding the Proposed Vacation of a Portion of Carroll Street in the West Seventh Urban Village (COUNCIL DISTRICT 9)**

Ms. Margaret DeMoss completed a comment card in opposition to Mayor and Council Communication PZ-3127.

Motion: Council Member Zadeh made a motion, seconded by Mayor Pro tem Shingleton, that Mayor and Council Communication PZ-3127 be denied. Motion passed 9-0.

F. Award of Contract

- 1. M&C C-28106 - Authorize Execution of a Contract with S.J. Louis Construction of Texas, Ltd., in the Amount of \$9,882,130.00 for Northside II Forty-Eight Inch Water Main Phase II, Part 1 from Heritage Trace Parkway/Harmon Road Intersection to Wagley Robertson Road, Provide for Project Costs, Testing and Contingencies for Part 1 for a Total Project Amount of \$10,958,030.00, Adopt Resolution No. 4741-02-2017 Expressing Official Intent to Reimburse Expenditures with Proceeds of Future Debt and Adopt Appropriation Ordinance Nos. 22596-02-2017 and 22597-02-2017 (COUNCIL DISTRICT 7)**

Motion: Mayor Pro tem Shingleton made a motion, seconded by Council Member Allen Gray, to approve Mayor and Council Communication C-28106. Motion passed 9-0.

XVI. CITIZEN PRESENTATIONS

Ms. Jill Humphreys, 1420 6th Avenue South, completed a citizen presentation card and was recognized but was not present in the Council Chamber.

Ms. Dianna Wilson, 5816 Village Court Circle #326, appeared before the Council relative to scrap metal processing in her apartment complex.

Ms. Toby Norris, 1513 Hurley Avenue, completed a citizen presentation card and was recognized but was not present in the Council Chamber.

Mr. Thomas Hamilton, 3101 View Street, appeared before the Council relative to homelessness and its impact on the environment.

Ms. Shawna Bateman, 1440 Sierra Springs Drive, Bedford, Texas, completed a citizen presentation card and was recognized by Mayor Price but was not present in the Council Chamber.

Mr. Casey Mills, 6909 Wilton Drive, appeared before the Council in support of the Council's service implementing the school crossing guard program and in appreciation of Council Member Jordan and the Council's efforts to maintain a cohesive community.

The following citizens appeared before the Council relative to the Jacqueline Craig family:

Ms. Sallie Trotter, 2217 Lipscomb Street
Ms. Sophia Harris, 425 Kennedy Drive, Crowley, Texas
Ms. Kimberly Bird, 6401 Elm Crest Court
Ms. Sharon Mason Ford-Turner, 8316 Tallahassee Lane
Ms. Breinn Richter, 1801 16th Avenue

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Mr. Gerald Banks, Sr., 6861 Routh Street, appeared before the Council relative to the Jacqueline Craig incident and Officer William Martin.

The following individuals completed a citizen presentation card relative to the Jacqueline Craig family and/or Officer William Martin and was recognized by Mayor Price but was not present in the Council Chamber:

Ms. Pamela Young, 4352 Dulles Drive
Mr. Lee Merritt, 400 South Zang Boulevard Suite 350, Dallas, Texas,
Mr. Syed Hamza, 2932 Woodbridge Drive

Mayor Price introduced City Attorney Fullenwider to address legal issues related to Officer Martin and the Jacqueline Craig case. City Attorney Fullenwider's statement is as follows:

Mayor and Council, over the past three weeks during Citizen Presentations, there have been statements indicating misunderstandings about the legal authority of the Council and the City Manager under the Civil Service Law to fire Officer Martin. Neither Council nor City Manager have the legal authority to fire or discipline Officer Martin because of Civil Service rules and regulations. That authority lies with the Police Chief and he has made his disciplinary decision.

In addition, City Attorney Fullenwider expressed she is available by appointment to discuss the situation further.

XVII. EXECUTIVE SESSION (CITY COUNCIL CONFERENCE ROOM, CITY HALL, ROOM 290)

XVIII. ADJOURNMENT

There being no further business, Mayor Price adjourned the Regular meeting at 8:33 p.m.

No Documents for this Section

To the Mayor and Members of the City Council**February 14, 2017**

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**SUBJECT: AMENDMENT TO ECONOMIC DEVELOPMENT PROGRAM AGREEMENT WITH CLEARFORK DEVELOPMENT COMPANY, LLC TO EXTEND THE COMPLETION DEADLINE FOR THE FIRST PHASE**

On February 18, 2014 (M&C C-26672), the City Council authorized execution of an Economic Development Program Agreement (Agreement) with Clearfork Development Company, LLC, or an affiliate, related to Clearfork, a mixed-use project to be constructed near the southwest intersection of West Vickery Boulevard and South Hulen Street due south of Chisholm Trail Parkway. The planned development was to be constructed in two phases, with the first phase to be completed by December 31, 2016.

This Agreement was executed as City Secretary Contract 45586, and was later amended (45586-A1) to provide for a clarification in terminology from "certificate of occupancy for shell building space" to "certificate of completion for shell building space" to confirm that the Agreement reflected current practice for issuance by the Planning and Development Department.

The Agreement provides that deadlines established by the Agreement may be extended on account of events that cause delays and that are not the fault of the performing party (identified in the Agreement as events of force majeure).

In order to provide clarity to the rights of both the City and the developer, on November 15, 2016, City Council approved amending the agreement to change the completion deadline for the first phase of the development from December 31, 2016 to March 1, 2017 due to documented inclement weather delays.

Since that time, requirements for completion of shell building space have been further clarified to support the intent of the agreement and amendment. Staff recommends an extension to the completion deadline for the first phase of the development to September 1, 2017, to accommodate the additional work necessary to meet the shell building space requirements. Per the Building Official, in order to meet the shell space requirements, the property needs to have passed the following inspections:

1. Final Building Inspection (which includes Final MEP Inspections),
2. Final Fire Inspection, and
3. Final Parkway Inspection.

This constitutes a finished Shell Building, ready for a tenant finish out, which is an interior-only remodel. This standard has now been set for shell building completion in economic development program agreements.

Staff will place an M&C for City Council consideration on the February 21, 2017 agenda, requesting that the completion deadline be revised to September 1, 2017.

If you have any questions concerning this information, please contact Robert Sturns, Economic Development Director at 817-212-2663 or robert.sturns@fortworthtexas.gov.

David Cooke
City Manager

To the Mayor and Members of the City Council**February 14, 2017**

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**SUBJECT: TEXAS ENTERPRISE ZONE NOMINATION FOR TTI, INC.**

The City Council of the City of Fort Worth (City) has previously passed Ordinance No. 15733 electing to participate in the Texas Enterprise Zone Program. On May 12, 2015 the City Council adopted Ordinance No. 21743-05-2015, amending Ordinance No. 15733 by adding additional potential local incentives that could be made available to qualified businesses under the Texas Enterprise Zone Program. The Office of the Governor Economic Development and Tourism through the Economic Development Bank will consider TTI, Inc. (TTI) as an enterprise project pursuant to a nomination and an application made by the City.

The Texas Enterprise Zone Program is an economic development tool for local communities to partner with the State of Texas to promote job creation and capital investment in economically distressed areas of the State. An enterprise project is defined as a business that is nominated by a municipality or county and then approved for state benefits. Designated projects are eligible to apply for state sales and use tax refunds on qualified expenditures. The level and amount of refund is related to the capital investment and jobs created at the qualified business site.

The new TTI distribution center is a \$74.5 million investment in a 610,000 square foot facility. The facility located at 3737 Meacham will house the company's North American warehouse, assembly, and distribution facilities. The space will feature an extensive picking system with conveyors, pick modules, racking systems and a three-level carousel platform. The investment will include \$51.5 million in real property and \$23 million in business personal property. Though TTI has already invested approximately \$46 million, the remaining \$28.5 million of investment qualifies TTI for a single Enterprise Project Designation. The investment will result in the creation of at least 10 new jobs, and retention of approximately 700 jobs, although the benefit for an Enterprise Project Designation is capped at 500 jobs. TTI could be eligible for a maximum refund of \$2,500 per job, distributed over the 5 year designation period. The maximum potential refund TTI could receive is \$1,250,000 over the 5 year designation period.

Under the Texas Enterprise Zone Act at least twenty-five percent of the business' new or retained employees will be residents of an enterprise zone, economically disadvantaged individuals or veterans. In addition, the jobs will be provided through the end of the designation period or at least three years after the date on which a state benefit is received, whichever is later.

Staff will place an M&C for City Council consideration on the February 21, 2017 agenda nominating TTI as an Enterprise Zone Project pursuant to the Texas Enterprise Zone Program. Submittal and approval of this application for State benefits will have no fiscal impact to the City's general fund.

If you have any questions concerning this information, please contact Robert Sturns, Economic Development Director at 817-212-2663 or robert.sturns@fortworthtexas.gov.

David Cooke
City Manager

To the Mayor and Members of the City Council**February 14, 2017**

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**SUBJECT: AGREEMENT WITH REVITALIZE CHARGING SOLUTIONS, INC.
FOR A CHARGING STATION AT THE GUINN SCHOOL COMPLEX**

Revitalize Charging Solutions (RCS), is a startup environmental company based in Fort Worth and has designed and built an interactive charger that is used to keep the battery of an electric vehicle (EV) charged. Despite the expected increased usage of EVs, there are relatively few charging stations in Fort Worth to address consumer concerns that a battery could run out of charge and strand a driver far from a recharging station.

RCS and the City of Fort Worth initiated a pilot program to install a Level II charging station at the City of Fort Worth Facility Management building located at 1110 Taylor Street on October 1, 2015. The Pilot program ran for 6 months, with positive results including twelve registered users and an average of two charging sessions per day.

RCS is proposing an agreement for a new charging station to be located at the Guinn School Complex located at 1150 S. Freeway, for an extended pilot program with an initial term of twelve months. In consideration of the City entering into the agreement, RCS will provide a Level II (240 VAC) electric vehicle charging station for public use and will cover the installation and ongoing maintenance of the equipment.

Bi-weekly usage reports and other pertinent operational information relating to the site and the equipment will be provided to the Director of Economic Development. The City will be entitled to reimbursement in an amount equal to the total kilowatts used per month by the charging station at the site. As a part of the agreement, media content will be displayed on the charging station, including commercial advertising, graphic wraps, labeling, banner advertisements, and movie clips. RCS shall have control over the solicitation, contracting, and distribution of any and all media content data transmitted on the Revitalize Charging Solutions Charging Stations subject to the City's approval.

City Staff recommends moving forward with approval of the agreement with RCS. Staff will place an M&C for City Council consideration on the February 21, 2017 agenda.

If you have any questions concerning this information, please contact Robert Sturns, Economic Development Director at 817-212-2663 or robert.sturns@fortworthtexas.gov.

**David Cooke
City Manager**

To the Mayor and Members of the City Council

February 14, 2017

Page 1 of 4



SUBJECT: DECEMBER 2016 – SALES TAX UPDATE

Sales tax revenue represents approximately twenty-two percent (22%) of the City’s General Fund anticipated revenue in Fiscal Year 2017. It is the second largest revenue source, with property tax being the largest. In addition, sales tax revenue represents the largest revenue source in the Crime Control and Prevention District Fund. Staff is committed to providing regular updates on this important and sometimes volatile revenue source. The Texas Comptroller’s Office posted December 2016 (Fiscal Year 2017, Period 3) collection results on February 8th, 2017. Actual receipts are dependent upon the timeliness and accuracy of sales tax payers’ returns. This report provides Fort Worth’s sales tax collection compared to last year and the impact on the current year’s budget.

DECEMBER NET SALES TAX COLLECTIONS (10-YEAR HISTORY)



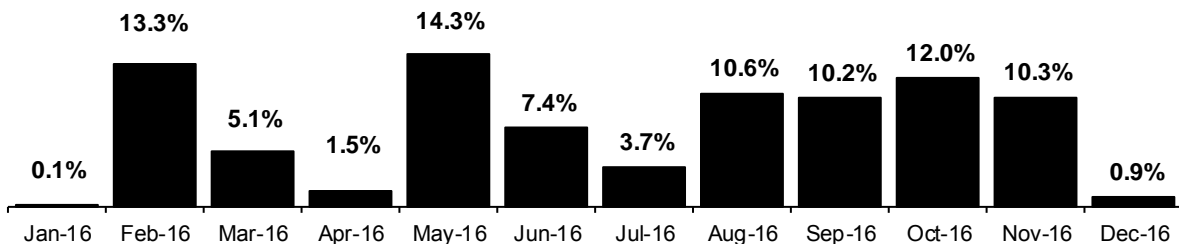
The City’s net sales tax collection is down **\$136,471** or **0.9%**, compared to the same month last year. As depicted in the table below, the City experienced **\$141,585** or a **0.9%** increase when compared to last year’s collections for the same month. Current period collections include only transactions that occurred within the month, so this number reflects pure economic activity.

COLLECTION DETAIL FOR CITY SALES TAX

| | December 15 | December 16 | Variance (\$) | Variance (%) |
|-----------------------------------|---------------------|---------------------|--------------------|-----------------|
| Current Period Collections | \$15,035,973 | \$15,177,558 | \$141,585 | 0.9% ↑ |
| Other Collections | 318,526 | 144,330 | (174,196) | (54.7%) |
| Audit Adjustments | 104,016 | (35,315) | (139,332) | (134.0%) |
| Service Fee | (309,170) | (305,731) | 3,439 | 1.1% |
| Retainage | (102,260) | (70,228) | 32,032 | 31.3% |
| Net Collections | \$15,047,086 | \$14,910,614 | (\$136,471) | (0.9%) ↓ |

*OTHER COLLECTIONS ARE PAYMENTS ATTRIBUTED TO PRIOR PERIOD COLLECTIONS, FUTURE PERIOD COLLECTIONS AND UNIDENTIFIED COLLECTIONS. FOR DECEMBER 2016, OTHER COLLECTIONS WERE DOWN DUE TO UNIDENTIFIED & FUTURE PERIOD COLLECTIONS NUMBERS COMING IN LOWER COMPARED TO DECEMBER OF 2015.

CURRENT PERIOD COLLECTIONS
Change Compared to Same Month in Prior Year



To the Mayor and Members of the City Council

February 14, 2017

Page 2 of 4



SUBJECT: DECEMBER 2016 – SALES TAX UPDATE

The City’s General Fund sales tax collections year-to-date are 104% of the budget year-to-date, and higher than 107% of the year-to-date total for the same period last year. The City’s Crime Control and Prevention District Fund (CCPD) sales tax collections year-to-date are 103% of the budget year-to-date, higher than 108% of the year-to-date total for the same period last year.

CITY OF FORT WORTH YTD NET COLLECTIONS COMPARISON

| | Budget as of Period 3 | Current Receipts Through Period 3 | FY2016 Receipts Through Period 3 |
|--|----------------------------------|--|---|
| CITY OF FORT WORTH | | | |
| GENERAL FUND | \$36,256,278 | \$37,763,606 | \$35,317,555 |
| CRIME CONTROL AND PREVENTION DISTRICT | 17,395,302 | 17,946,830 | 16,649,043 |
| TOTAL | \$53,651,580 | \$55,710,436 | \$51,966,598 |

CITY OF FORT WORTH FISCAL YEAR COMPARISON – FY2017

| | Adopted Budget | Amended Budget | Fiscal Year Projections | Projected Variance to Amended | |
|--|---------------------------|---------------------------|------------------------------------|--|------------|
| | | | | (\$) | (%) |
| CITY OF FORT WORTH | | | | | |
| GENERAL FUND | \$140,468,044 | \$140,468,044 | \$140,468,044 | \$0 | 0.0% |
| CRIME CONTROL AND PREVENTION DISTRICT | \$67,394,786 | \$67,394,786 | \$67,394,786 | \$0 | 0.0% |
| FORT WORTH TRANSPORTATION AUTHORITY | \$70,979,000 | \$70,979,000 | \$70,979,000 | \$0 | 0.0% |

The City anticipates collecting **\$140,468,044** by fiscal year end, which matches original estimates in the FY2017 adopted budget.

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To the Mayor and Members of the City Council

February 14, 2017

Page 3 of 4



SUBJECT: DECEMBER 2016 – SALES TAX UPDATE

The chart below indicates how current year sales tax collections in Fort Worth and other select cities in the state compare to FY2016 collections for the same period.

**CITIES COMPARISON
FY2017 vs. FY2016**

| City | December | 1st Quarter |
|-------------------|-----------------|--------------------|
| GRAND PRAIRIE | 11.2% | 11.1% |
| MCKINNEY | 8.4% | 9.7% |
| IRVING | 8.2% | 2.8% |
| FRISCO | 8.0% | 7.6% |
| ARLINGTON | 5.1% | 2.1% |
| PLANO | 4.2% | 0.3% |
| GARLAND | 2.6% | 8.8% |
| DALLAS | 0.0% | 4.3% |
| AUSTIN | (0.1%) | 4.5% |
| EL PASO | (0.7%) | 3.9% |
| FORT WORTH | (0.9%) | 6.9% |
| SAN ANTONIO | (3.6%) | 1.8% |
| HOUSTON | (5.2%) | (5.8%) |
| STATE TOTAL | 5.2% | 0.9% |

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To the Mayor and Members of the City Council

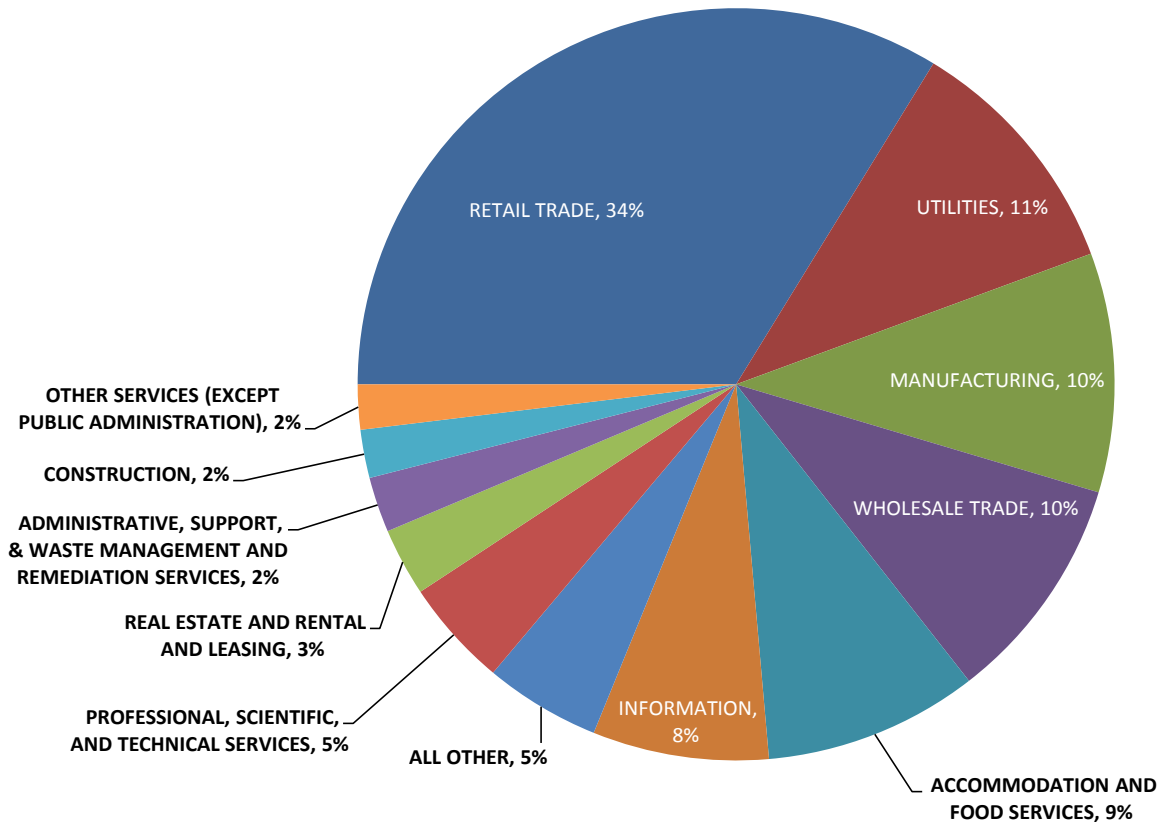
February 14, 2017

Page 4 of 4



SUBJECT: DECEMBER 2016 – SALES TAX UPDATE

SALES TAX REVENUE BY INDUSTRY THROUGH PERIOD 2



There are five industries that comprise the largest portion (74%) of the City's sales tax revenue in FY2017 through period 2.

If you have any questions, please call Terry Hanson, Assistant Director of Budget and Analysis, at 817-392-7934.

David Cooke
City Manager

No Documents for this Section

A Resolution

NO. _____

WAIVING FEES FOR STABILIZATION OF HISTORIC SWIFT WALL ON NORTHEAST 23RD STREET

WHEREAS, on April 5, 2016, the City Council designated the Swift staircase and wall on the north side of Northeast 23rd Street as a Historic and Cultural Landmark (ZC-16-066) in the Historic Stockyards; and

WHEREAS the staircase and a portion of the wall are within City right-of-way for Northeast 23rd Street, and the remainder of the wall is on private property owned by Fort Worth Heritage Development; and

WHEREAS the wall is in deteriorated condition and poses a public safety concern due to the proximity of the wall to the public sidewalk; and

WHEREAS Fort Worth Heritage Development desires to perform immediate repairs including temporary bracing for the wall at an estimated cost of \$145,000; and

WHEREAS the repair work requires temporary closure of the public sidewalk, and the required temporary encroachment fee is estimated at \$20,200 for 180 days; and

WHEREAS City staff recommends waiving all fees associated with the repairs to address the public safety concern and to support the stabilization of this historic resource;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FORT WORTH, TEXAS:

That the City Manager is authorized to waive all fees for Fort Worth Heritage Development to perform immediate repairs and stabilize the Swift wall in order to protect the members of the public from the deteriorated wall that is in proximity to the public sidewalk along Northeast 23rd Street. Current City ordinances provide sufficient controls to ensure that the waiver of fees will achieve the public purposes.

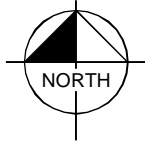
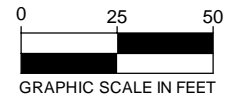
Adopted this _____ day of _____ 2017.

ATTEST:

By: _____

Mary Kayser, City Secretary





NILES CITY BOULEVARD

Contractors Name: Commerce Construction Co., LP
 Point of Contact: David Berry
 Phone Number: 979-264-1658
 Building Permit No.:
 Purpose for Closure: Temporary Shoring installation for adjacent Swift Wall
 Begin Date: 02/13/2017
 End Date: 08/15/2017

MATCHLINE SHEET 2
 MATCHLINE SHEET 1

BROKEN BRICK

CONC

MULTI-STORY BUILDING

FACE OF BUILDING IS 1.6' NORTH OF THE PROPERTY LINE

FORT WORTH HERITAGE DEVELOPMENT, LLC
 INSTRUMENT NO. D215200243
 OPRTCT

ONE STORY BUILDING

BROKEN CONC

SAINT LOUIS AND
 SOUTHWESTERN RAIL
 ROAD

117 ft SEE DETAIL "A" 135 ft

161 ft

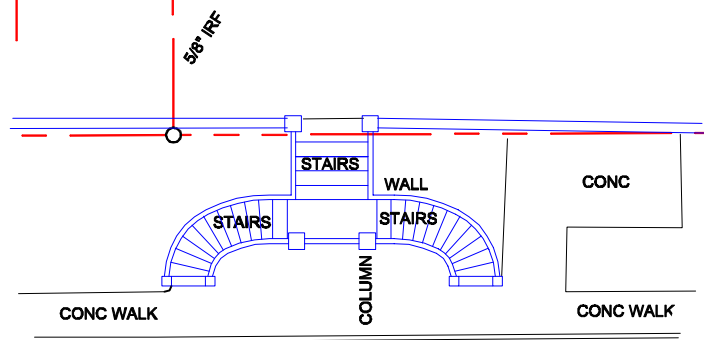
NE TWENTY THIRD STREET

STEPHEN MURRIN JR., GRANDCHILDREN'S TRUST
 INSTRUMENT NO. D214168302
 O.P.R.T.C.T.

 Chain link fence

Total sidewalk encroachment = 7,469 SF

7,469 SF x 0.015 / day x 180 days = \$20,166.30



N.E. TWENTY
 THIRD STREET

DETAIL "A"

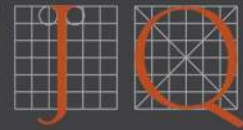
1"=20'

SWIFT WALL AND
 STAIRCASE EXHIBIT
 APRIL 2016

Kimley»Horn

801 Cherry Street, Unit 11, # 950 Fort Worth, Texas 76102 FIRM # 10194040 Tel. No. (817) 335-6511 www.kimley-horn.com

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|------------|-------------|-----------|
| 1" = 50' | JPW | BDM | 04/12/2016 | 061281300 | 1 OF 3 |



08.01.16

Mr. Gilbert Mota
Vice President, District Manager
Commerce Construction, LP
131 East Exchange Avenue, Suite 212
Fort Worth, Texas 76164

Re: Swift Masonry Wall Assessment
Fort Worth Stockyards, Fort Worth, Texas
JQ Project No. 3060211

Dear Gilbert:

JQ Engineering, LLP (JQ) performed a limited, structural review of the masonry wall located along the southern edge of the Swift and Company property on NE 23rd Street in Fort Worth, Texas within the historic Fort Worth Stockyards on June 30, 2016. The purpose of the review was to assess the structural condition of the wall for the purpose of providing recommendations for repair.

At the east end, the wall that turns to the north along the east property line is not included in this review.

No construction documents were available for review at the time of our site visit.

Our findings are as follows:

Wall Description

The south side of the wall, facing NE 23rd Street, is approximately 18 feet high and 435 feet in length (Photograph 1). The bottom section of the wall consists of 4-inch brick veneer placed on a concrete ledge, backed by an 9-inch thick reinforced concrete wall which serves to retain the earth on the north side of the wall (Photograph 2). Soldier courses and stacked bond courses with cast stone corner elements create a rectangular pattern at each panel (Photograph 3). 18-inch wide concrete pilasters spaced approximately 12'-4" on center separate the brick veneer into distinct panels. The upper section of the wall consists of a single wythe of 4-inch brick placed between reinforced concrete columns that align with the pilasters below (Photograph 4). The brick extends approximately 1-inch into a keyway cast into each side of the concrete columns (Photograph 5) and has a reinforced concrete cap which spans horizontally between the columns (Photograph 6). Rough-cut brick units project from the south face in a rectangular pattern at each panel (Photograph 4). The upper and lower wall sections are separated by two horizontal bands of reinforced concrete (Photograph 4).

On the north side of the wall, reinforced concrete pilasters on the lower section of the wall align with the pilasters on the south side of the wall (Photograph 7).

A reinforced concrete grand stairway leads from NE 23rd Street up to the Swift and Company property (Photograph 8). Several bays of the upper section east of the grand stairway are equipped with iron fence sections in lieu of the single wythe brick masonry (Photograph 9).

A section of the wall east of the grand stairway has been removed to provide vehicular access to the site from NE 23rd Street (Photograph 10).

Observations

Several sections of the wall were observed to be leaning toward the south (Photograph 11). The plumbness of the wall was measured at each pilaster using a digital level, and measurements ranged from 0.1 to 6.1 degrees out-of-plumb (Photograph 12). Observations at the edge of the lower wall where a section has been removed, #4 horizontal twisted reinforcing steel was exposed and observed to be spaced approximately 8 inches on center (Photograph 13).

Two test pits were excavated, one on each side of the wall between the grand stairway and the Fertilizer Building. On the south side of the wall, at 2'-9" below the brick ledge, the foundation steps out approximately 16 inches. The bottom of the concrete foundation wall was observed to be 6'-3" below the brick ledge (Photograph 14), approximately 4 feet 6 inches below grade. Attempts to locate embedded reinforcing steel in the foundation using an Elcometer 331 Covermeter were not successful, possibly due to the depth detection limitation of the equipment (0.6 inches to 3.75 inches). Using the covermeter on the north side of the wall, four vertical steel reinforcing bars randomly spaced were detected in the pilaster. Horizontal bars in the pilaster were detected at approximately 8 inches on center (Photograph 15). In the concrete wall between the pilasters, the covermeter detected vertical bars spaced 16 inches on center and 8 inches on center horizontally (Photograph 16). Removal of a section of concrete cover on the back side of the wall revealed #4 twisted bars both horizontally and vertically.

Numerous spalled sections of concrete were observed on the pilasters, many with exposed "twisted" reinforcing bars (Photographs 17 and 18). Many other pilasters and columns were observed to be spalled and/or cracked with hollow-sounding concrete (Photographs 19 and 20). On the south side at a location where the concrete cover over the reinforcing steel has spalled away, the lower portion of the pilasters were observed to be reinforced with #8 vertical corner bars, with #3 ties at approximately 12 inches on center (Photograph 18).

Minor vertical cracks were observed in several of the beams between the pilasters (Photographs 21 and 22). The covermeter could not detect embedded reinforcing steel in the beam sections. Tie-backs were observed at several of the pilasters east of the grand stairway (Photograph 22). The configuration and embedded depth of the observed tiebacks is unknown.

The majority of the concrete columns at the upper sections of the wall are 12 inches square reinforced with four #4 corner bars and #3 horizontal ties spaced 12 inches on center (Photograph 23). One-inch-deep reveals are cast into the face of each column and on all four sides where there is iron fencing (Photograph 22 and 24). Vertical cracks and delaminated and spalled sections of concrete were observed

at several of the columns (Photographs 21 and 25). Steel dowels were observed extending up into the columns from the concrete pilaster in the wall below (Photograph 26). Concrete capitals are broken or missing on several of the columns (Photographs 25 and 27).

Larger columns were observed at the upper wall on each side of the grand stairway and at the bays east of the stairway (Photograph 28). Vertical cracks, spalled and hollow-sounding sections of concrete were observed at two of these columns (Photograph 29).

Cracked and open mortar joints in the brick veneer on the lower section of the wall were observed in a few locations (Photographs 30 and 31). A significant vertical gap between the masonry and the concrete pilaster/column was observed at the far southeast corner adjacent to the radiused section of wall (Photographs 32, 33 and 34). Diagonal cracks were observed in a few of the single wythe brick panels, typically in the locations that are significantly out-of-plumb (Photograph 35 and 36). The covermeter detected no horizontal reinforcing in the joints of the single wythe wall, and no joint steel reinforcing was observed in any open brick joints. The reinforced concrete cap on top of the single wythe brick wall was observed to be severely deteriorated with exposed reinforcing steel at many of wall sections, and completely missing in a few locations (Photographs 17 and 27).

The reinforced concrete grand stairway was observed to be in fair condition. Cracks in the steps and risers paralleling the sidewalls (Photograph 37), and spalled, cracked and delaminated sections of topping were observed (Photograph 38). Spalled concrete and brick were observed on the east side of the grand stairway (Photograph 39). A large void was observed under the stairs (Photographs 40 and 41).

A significant amount of vegetation has grown up on both sides of the wall (Photographs 1, 7, 8, 27, 42, 43, 44 and 45).

Graffiti on the south side of the wall has been painted over (Photographs 3, 8, 35, and 36), while some graffiti on the north side of the wall remains visible (Photographs 7, 25 and 27).

Discussion

Based on the conditions observed in the test pits, the existing wall consists of a vertical structural element which relies on the embedment of the below grade wall to resist the lateral forces generated by the retained earth. Given the absence of typical retaining wall foundations such as footings, the stability of the existing wall depends on the cantilevered wall much like sheet piling. This is a highly unusual structural system for this wall type.

For the retained height of soil, the observed wall embedment below grade and assuming reasonable lateral earth pressures, a structural analysis of the concrete portion of the lower section of the wall revealed that it is under-designed to act as a retaining wall. This deficiency is highlighted in the measured rotational movement of the walls and the prior attempts to restrain the wall movement through the use of tie-backs. However, tiebacks potentially increase the lateral earth pressures on the wall by restraining additional wall movement and also alter the structural behavior of the wall and the size and location of needed steel reinforcing in the concrete.

The lack of reinforcement in the joints of the single wythe brick wall and the significant deterioration, and absence, of the concrete cap poses a safety concern for the upper portions of the masonry wall, especially at the east end of the wall due to the proximity of the wall to the sidewalk.

In our opinion, the entire length of the wall fronting NE 23rd Street should be temporarily braced to prevent any further rotational movement. The temporary bracing would need to be attached to both the top and bottom sections of the wall. The reactions and loads are shown in Figure A. Consideration should be given to the permanent stabilization method to minimize the conflict between the temporary and permanent systems. Absent a temporary or permanent stabilization system for the wall, heavy loads should not be placed adjacent to the backside of the wall.

Typically, a permanent stabilization system for an out-of-plumb retaining wall consists of drilling and grouting tie-back anchors through the face of the wall into the ground behind the wall. This method leaves an exposed anchor device on the exterior face of the wall, which would significantly diminish the historical appearance of the wall. However, as stated above, the use of tiebacks will alter the structural behavior of the wall. Therefore, if the use of temporary or permanent tiebacks is incorporated widely in the wall, their use will also necessitate the installation of supplemental reinforcing of much of the below grade wall.

The masonry wall, by itself, does not have a historical designation, but is a contributing element to the Swift and Company property and the Fort Worth Stockyards Historic District. Therefore, repairs should be made in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

It is anticipated that a temporary bracing system placed on the south side of the wall will encroach upon the NE 23rd Street right-of-way, and the sidewalk adjacent to the wall. Installation of the bracing on the south side would need to be coordinated with the City of Fort Worth, and secure fencing should be provided to enclose the temporary bracing system.

An alternative method would be to provide a temporary bracing system on the north, or backside, of the wall. Bracing would be attached to the backside of the wall at the top of the lower section and connected to a stabilizing element, such as a pier or a grade beam, installed some distance from the back of the wall (See Figure SSK-1).

This temporary bracing system would be a precursor to a permanent stabilization system that would include excavating the fill from the backside of the wall, installing a French drain system along the base of the wall and tied into the storm drain system, and installing stepped sections of "Geofoam" Lightweight Fill Material to reduce the surcharged loads imposed upon the backside of the wall (See Figure C). The temporary bracing would be covered or encapsulated in concrete placed over the "Geofoam" to become a part of the permanent stabilization system (See Figure SSK-2).

Once the permanent stabilization system is in place, the existing through-wall tie-back anchors would not be needed. They should be removed, and the holes patched.

The upper section of the wall also should be braced to resist wind loads by providing angled braces to ground-mounted anchors (See Figure SSK-1).

The roots of trees located in close proximity to structures can cause seasonal movement of the soils due to variation in the moisture content of the soils. This movement is manifest as shrinkage during dry conditions and heave during wet conditions. Given the existing wall is soil supported and thus subject to this seasonal movement, it is likely that the trees adjacent to the wall are a contributing factor to the wall movement observed and measured.

While the graffiti does not affect the structural integrity of the wall, it is unsightly and detracts from the historical integrity of the wall. Often times, graffiti left in place invites additional, responsive “tagging,” and, therefore, should be removed as quickly as possible. The Standards (noted above) recommend using the “gentlest method possible” to clean historic masonry surfaces.

Recommendations

We recommend the following measures be completed as soon as possible:

- Remove vegetation from both sides of wall;
- Remove backfill from backside of wall; provide foundation drainage system;
- Provide temporary bracing on the north (backside) of the wall for lower and upper sections of the masonry wall (See Figure SSK-1).

Our opinion of probable construction cost to perform these repairs is \$144,300.00. A summary of these costs is shown in Table 1, attached.

The following will provide a permanent bracing solution for the masonry wall:

- Provide stepped “Geofoam” blocks to backfill behind wall;
- Cover or encapsulate lateral bracing in a concrete slab cast over the “Geofoam” (See Figure SSK-2);
- Provide a compacted impervious clay cap and topsoil.

Our opinion of probable construction cost to perform these repairs is \$119,500.00. A summary of these costs is shown in Table 2, attached.

We recommend the following repairs be completed within the next 1-3 years:

- Repair concrete beams, pilasters, columns, capitals and cap on top of upper masonry wall;
- Repair cracks and open joints in masonry;
- Fill void under grand stairway;
- Remove existing tie-back anchors, and patch the holes;
- Remove graffiti and painted-over graffiti from both sides of wall.

Our opinion of probable construction cost to perform these repairs is \$294,500.00. A summary of these costs is shown in Table 3, attached.

If the removed section of wall along NE 23rd Street will be rebuilt, our opinion of probable construction cost for this item is \$75,000.00.

Disclaimer

The opinions and comments provided in this report are based upon field observations as part of our scope of services. JQ has ascertained to the best of our ability the visually apparent defects in the wall structure. However, as field observations were conducted on a structure in which the majority of the structural elements are concealed, JQ cannot be responsible for failing to ascertain deficiencies which were not visible due to the existing conditions in the structure. No warranty, expressed or implied, regarding the condition of the wall structure is intended. In addition, no representation as to the expected useful life of the wall structure or other components identified in this report is made.

If you have any questions, or if we can be of further assistance, please contact us.

Sincerely yours,

JQ Engineering, LLP

Texas Registered Engineering Firm: 1294

Julie Bolding, P.E.
Project Engineer

Mark D. LeMay, AIA, LEED AP
Principal

TABLE 1

**Swift & Company Masonry Wall
NE 23rd Street, Fort Worth, Texas
Preliminary Opinion of Probable Construction Cost**

Immediate Repairs

| Parts Description | Qty | Unit | Unit Cost | Total Cost |
|--|------------|-------------|------------------|----------------------|
| STRUCTURAL | | | | |
| <i>Division 2 - Sitework</i> | | | | |
| Remove vegetation from both sides of wall | 1 | LS | \$10,000.00 | \$ 7,500.00 |
| Excavate backfill from back side of wall | 1200 | CY | \$ 10.00 | \$ 12,000.00 |
| Provide French drain, coarse aggregate and filter fabric | 400 | LF | \$ 30.00 | \$ 12,000.00 |
| Subtotal | | | | \$ 31,500.00 |
| <i>Division 3 - Concrete</i> | | | | |
| Provide reinforced concrete dead-man piers | 30 | each | \$ 1,300.00 | \$ 39,000.00 |
| Subtotal | | | | \$ 39,000.00 |
| <i>Division 5 - Steel</i> | | | | |
| Provide 6" steel bracing for lower wall section | 30 | each | \$ 600.00 | \$ 18,000.00 |
| Provide 4" steel bracing for upper wall | 30 | each | \$ 350.00 | \$ 10,500.00 |
| Subtotal | | | | \$ 28,500.00 |
| Total | | | | \$ 99,000.00 |
| MOBILIZATION (5%) | | | | \$ 4,950.00 |
| OVERHEAD AND PROFIT (15%) | | | | \$ 15,592.50 |
| CONTINGENCY (25%) | | | | \$ 24,750.00 |
| GRAND TOTAL | | | | \$ 144,292.50 |

TABLE 2

**Swift & Company Masonry Wall
NE 23rd Street, Fort Worth, Texas
Preliminary Opinion of Probable Construction Cost**

Permanent Stabilization

| Parts Description | Qty | Unit | Unit Cost | Total Cost |
|---|------------|-------------|------------------|----------------------|
| STRUCTURAL | | | | |
| <i>Division 2 - Sitework</i> | | | | |
| Provide Geofoam backfill | 600 | CY | \$ 70.00 | \$ 42,000.00 |
| Provide impervious clay cap and topsoil | 500 | CY | \$ 20.00 | \$ 10,000.00 |
| Subtotal | | | | \$ 52,000.00 |
| <i>Division 3 - Concrete</i> | | | | |
| Encapsulate bracing in concrete | 30 | CY | \$ 1,000.00 | \$ 30,000.00 |
| Subtotal | | | | \$ 30,000.00 |
| Total | | | | \$ 82,000.00 |
| MOBILIZATION (5%) | | | | \$ 4,100.00 |
| OVERHEAD AND PROFIT (15%) | | | | \$ 12,915.00 |
| CONTINGENCY (25%) | | | | \$ 20,500.00 |
| GRAND TOTAL | | | | \$ 119,515.00 |

TABLE 3

**Swift & Company Masonry Wall
NE 23rd Street, Fort Worth, Texas
Preliminary Opinion of Probable Construction Cost**

Repairs Within 1-3 years

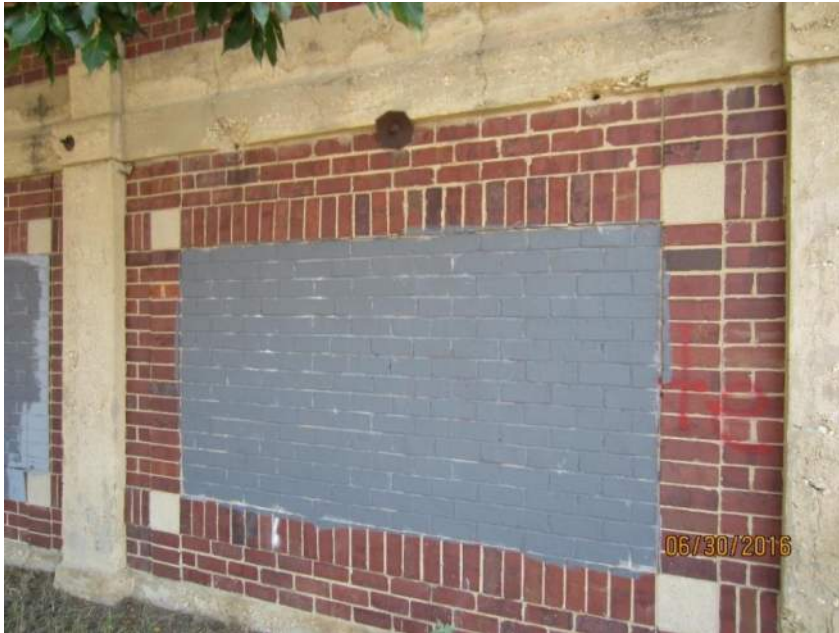
| Parts Description | Qty | Unit | Unit Cost | Total Cost |
|--|------|------|-------------|---------------|
| STRUCTURAL | | | | |
| Division 3 - Concrete | | | | |
| Repair concrete columns & pilasters | 30 | each | \$ 2,000.00 | \$ 60,000.00 |
| Repair concrete beams | 400 | LF | \$ 100.00 | \$ 40,000.00 |
| Repair concrete cap | 400 | LF | \$ 60.00 | \$ 24,000.00 |
| Repair concrete capitals | 30 | each | \$ 500.00 | \$ 15,000.00 |
| Fill void under grand stairway | 1 | LS | \$ 3,000.00 | \$ 3,000.00 |
| Remove tie-back anchors, patch holes | 20 | each | \$ 200.00 | \$ 4,000.00 |
| Subtotal | | | \$ 12.00 | \$ 146,000.00 |
| Division 4 - Masonry | | | | |
| Repair cracks and open joints in masonry | 7200 | SF | \$ 5.00 | \$ 36,000.00 |
| Remove graffiti | 5000 | SF | \$ 4.00 | \$ 20,000.00 |
| Subtotal | | | | \$ 56,000.00 |
| Total | | | | \$ 202,000.00 |
| MOBILIZATION (5%) | | | | \$ 10,100.00 |
| OVERHEAD AND PROFIT (15%) | | | | \$ 31,815.00 |
| CONTINGENCY (25%) | | | | \$ 50,500.00 |
| GRAND TOTAL | | | | \$ 294,415.00 |



Photograph 1 – Swift masonry wall, looking west



Photograph 2 – Brick veneer on reinforced concrete backup wall



Photograph 3 – Rectangular pattern at lower wall section



Photograph 4 – Concrete pilasters separate the brick panels on lower section of wall; concrete columns separate brick panels on upper section



Photograph 5 – Spalled concrete at pilaster shows brick keyway



Photograph 6 – Reinforced concrete cap on top of single wythe upper masonry wall



Photograph 7 – Concrete pilasters on backside of wall align with pilasters on front side



Photograph 8 – Grand stairway



Photograph 9 – Iron fence section in lieu of single wythe brick masonry at upper section of wall



Photograph 10 – Wall section removed providing site access from NE 23rd Street



Photograph 11 – Wall leans to the south (right)



Photograph 11 – Lower pilaster 5 degrees out of plumb



Photograph 13 – Twisted reinforcing steel in lower backup wall



Photograph 14 – Bottom of concrete foundation on street side of wall



Photograph 15 – Horizontal steel detected in pilaster on back side of lower section of wall



Photograph 16 – Twisted steel reinforcing in lower section of backup wall



Photograph 17 – Spalled concrete and exposed reinforcing on south face at upper column; note missing concrete cap on top of wall



Photograph 18 – Cracked, delaminated and spalled concrete at pilaster, lower wall



Photograph 19 – Cracked and hollow-sounding concrete on pilaster, lower wall



Photograph 20 – Spalled face of pilaster, lower wall



Photograph 21 – Cracks in concrete beams between upper and lower sections of wall; note cracks and delaminated concrete in upper column



Photograph 22 – Tie-back anchor; note reveal in face of column at upper wall



Photograph 23 – Spalled concrete and exposed reinforcing steel on back side of upper column



Photograph 24 – 1-inch deep reveal cast into each face of upper columns



Photograph 25 – Vertical cracks, spalls, and hollow sounding concrete on columns at upper wall



Photograph 26 – Reinforcing steel extending into upper column from pilaster below



Photograph 27 – Broken column capital and severely deteriorated coping on top of brick wall



Photograph 28 – Larger columns on upper wall east of grand stairway



Photograph 29 – Cracked, spalled and hollow-sounding concrete on large column, upper wall



Photograph 30 – Cracked and open mortar joint at brick veneer, lower wall



Photograph 31 – Crack in mortar joint at brick veneer, lower wall



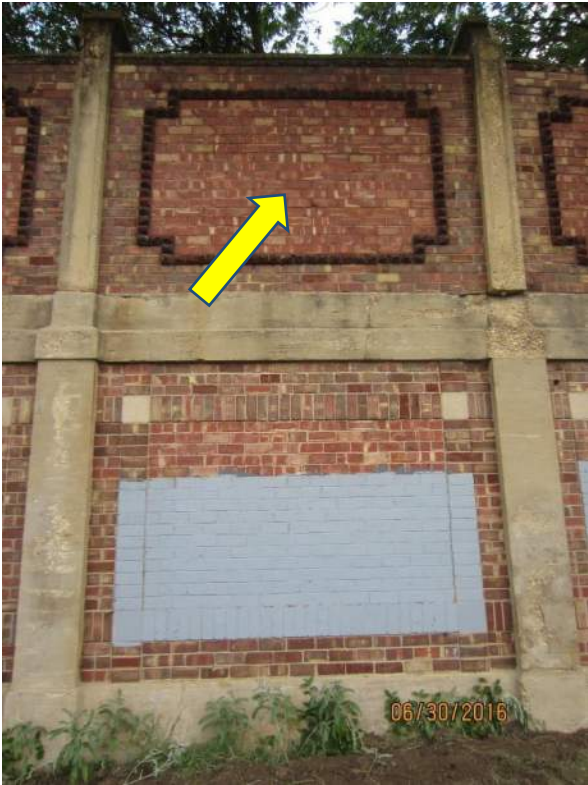
Photograph 32 – Significant vertical gap in wall, southeast corner



Photograph 33 – Significant vertical gap in wall, southeast corner



Photograph 34 – Significant vertical gap in wall, southeast corner



Photograph 35 – Diagonal crack in upper masonry wall



Photograph 36 – Diagonal crack in upper masonry wall



Photograph 37 – Cracks in concrete steps and risers parallel to sidewalls



Photograph 38 – Cracked and spalled concrete topping at grand stairway



Photograph 39 – Cracked and spalled concrete and brick, east side of grand stairway



Photograph 40 – Large void under grand stairway



Photograph 41 – Large void under grand stairway



Photograph 42 – Vegetation along south side of wall



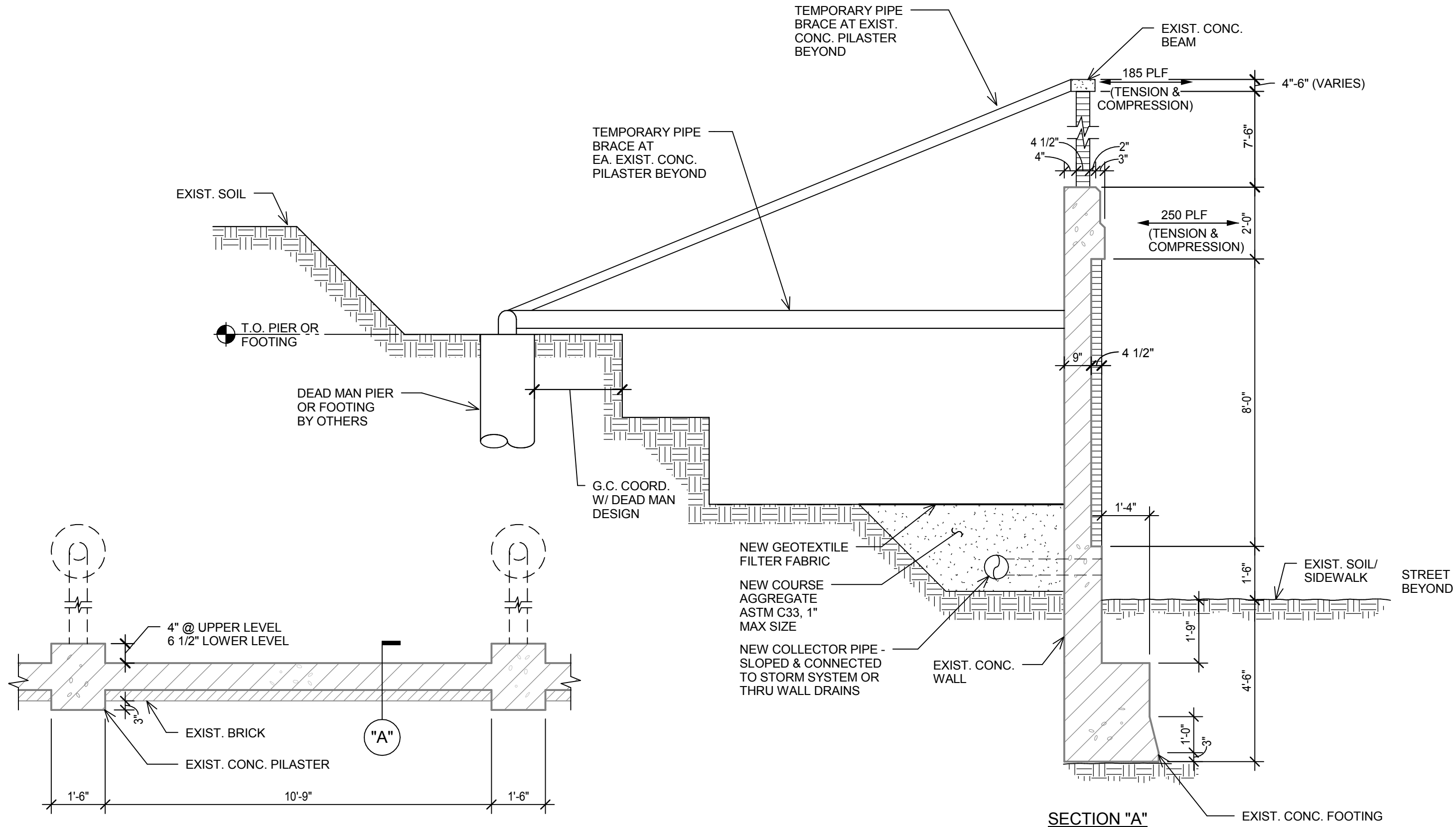
Photograph 43 – Large tree at base of wall, south side



Photograph 44 – Large tree at base of wall, south side



Photograph 45 – Large tree at base of wall, north side



INTERIM REVIEW DOCUMENTS

(NOT INTENDED FOR BIDDING, PERMIT OR CONSTRUCTION PURPOSES)

RONALD R. ISHMAEL
TEXAS REGISTRATION No: 109987
DATE: 07/28/16

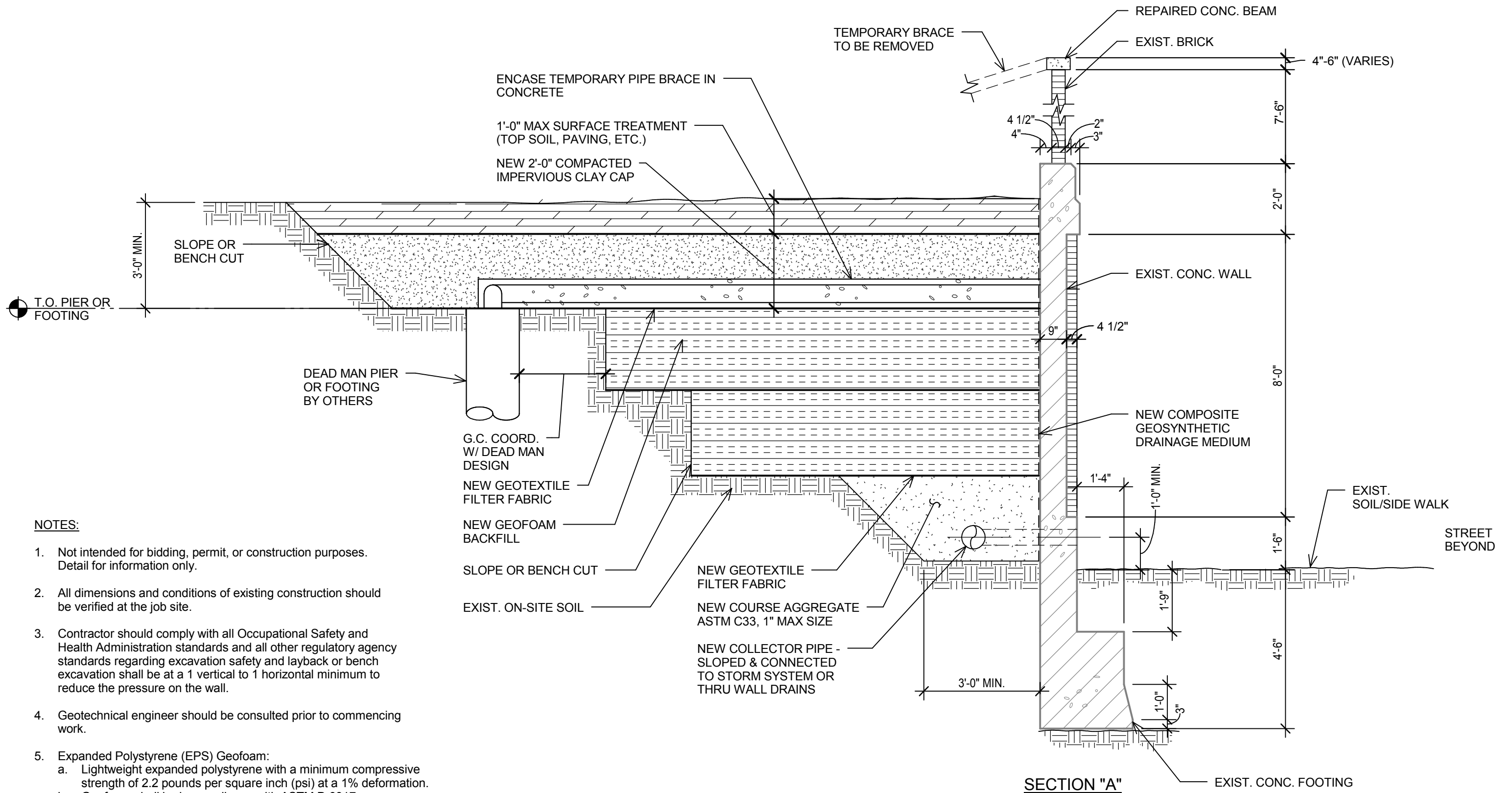
shaping the built environment

JQ ENGINEERING, LLP
1301 WEST 7TH STREET, SUITE 141
817.546.7200
JQ PROJECT NO: 3160211

FORT WORTH, TEXAS 76102
JQENG.COM
TBPE FIRM F-1294

| | | | |
|--|-------|---------|-------|
| PROJECT | | | |
| SWIFT MASONRY WALL - PROPOSED TEMPORARY REPAIR | | | |
| CLIENT | | | |
| COMMERCE CONSTRUCTION CO. LP. | | | |
| REF. | REV. | DATE | SHEET |
| RI | SSK-1 | 7/28/16 | -- |

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NOTES:

1. Not intended for bidding, permit, or construction purposes. Detail for information only.
2. All dimensions and conditions of existing construction should be verified at the job site.
3. Contractor should comply with all Occupational Safety and Health Administration standards and all other regulatory agency standards regarding excavation safety and layback or bench excavation shall be at a 1 vertical to 1 horizontal minimum to reduce the pressure on the wall.
4. Geotechnical engineer should be consulted prior to commencing work.
5. Expanded Polystyrene (EPS) Geofoam:
 - a. Lightweight expanded polystyrene with a minimum compressive strength of 2.2 pounds per square inch (psi) at a 1% deformation.
 - b. Geofoam shall be in compliance with ASTM D 6817.
 - c. All Geofoam blocks shall be treated by the manufacturer with a tested and proven termite treatment for below grade applications, 3 year minimum field exposure. The treatment shall be EPA registered, meet the requirements of ICC ES AC 239, and be recognized in an ICC ES report.
 - d. Available Products:
 - i. Foam-Control EPS Geofoam, AFM Corporation.
 - ii. InsulFoam GF, Insulfoam, LLC.

**INTERIM
REVIEW
DOCUMENTS**

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| | | | |
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| PROJECT | | | |
| SWIFT MASONRY WALL - PROPOSED PERMANENT REPAIR | | | |
| CLIENT | | | |
| COMMERCE CONSTRUCTION CO. LP. | | | |
| REF. | REV. | DATE | SHEET |
| RI | SSK-2 | 07/28/16 | - |

No Documents for this Section

No Documents for this Section

No Documents for this Section

No Documents for this Section

Zoning Docket items are linked on the Council Meeting Agenda.

No Documents for this Section